

From: Rodney Hammett
Monday, March 4, 2024 10:19:43 AM
Sent on: DASubmissions
To: Re: D/2024/96 - 6 Forest Street, Forest Lodge
Subject:
Attachments: Ltr to CoS_240304_final.pdf (598.27 KB)

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Attention: Ethan Howe

Hi Ethan,
I'm getting the feeling you're ignoring me because I didn't get a reply to my email of 19 Feb (below) and I know you have granted an extension of time to submit objections to Council, to others.

Attached is my submission for No 6 Forest Lodge (D/2024/96).

Kind regards,
Rodney Hammett

From: Rodney Hammett
Sent: Monday, 19 February 2024 10:44 AM
To: DSubmissions
Subject: D/2024/96 - 6 Forest Street, Forest Lodge

Attention: Ethan Howe

Hi Ethan,
I'm looking at this DA (6 Forest St, Forest Lodge) which is valued at \$247,500 and closes on 28 February.

1. For the work proposed I don't think this can be built for \$247,500
2. The time to review this significant development is only 2 weeks. This is much too short and should be at least 4 weeks.

I request a 4 week period to provide my comments on this DA.

I attach the sectional plan of the proposed alterations/additions - see below below.

Kind Regards,
Rodney Hammett

296 Glebe Point Rd
Glebe
NSW 2037
4 March 2024

The Manager
City of Sydney
Town Hall, Sydney

Attention: Ethan Howe

Re: D/2024/96
6 Forest St, Forest Lodge
Objections

Dear Ethan,

I refer to the advertised D/2024/96.

My research suggests this building was built in about 1879 which makes it about 145 years old – see attachment for details of my research.

A building of this age is a significant part of the local heritage conservation zone, despite there being a number of changes to the external fabric of the building. To protect the building's fabric and enhance the heritage conservation zone there are specific provisions in DCP 2012 that need to be applied to this DA. In particular I refer to Section 3.9.7 (Contributory Buildings), Clauses (2), (3), (4) and (5) – see extract from this DCP below.

- (2) Alterations and additions must not significantly alter the appearance of principal and significant facades of a contributory building, except to remove detracting elements.
- (3) Alterations and additions to a contributory building are to:
 - (a) respect significant original or characteristic built form;
 - (b) respect significant traditional or characteristic subdivision patterns;
 - (c) retain significant fabric;
 - (d) retain, and where possible reinstate, significant features and building elements, including but not limited to original balconies and verandahs, fences, chimneys, joinery and shop front detailing;
 - (e) remove unsympathetic alterations and additions, including inappropriate building elements;
 - (f) use appropriate materials, finishes and colours; and
 - (g) respect the pattern, style and dimensions of original windows and doors.
- (4) Where an addition to the building is proposed, significant external elements are to be reinstated.
- (5) Foyers or other significant interior features, including hallway detailing, panelling and significant staircases, designed to be visible from the street, are to be retained especially where they form part of the building's contribution to the character of the heritage conservation area.

All of these clauses and sub-clauses are relevant to the proposed works at No 6 and Council should insist the DA works/plans be changed so that the DCP's requirements are met.

The changes should include:

- Removal of the unsympathetic alterations and additions, including inappropriate building elements;
- Respect the pattern, style and dimensions of original windows and doors;
- Significant external elements should be reinstated, including balcony lattice work and front fencing.

In addition, the dormer should be changed to match the City of Sydney guidelines.

The extension to the right of the existing building (garage and rooms above) should be set back so that the front of this new structure is similar in nature to the existing Nos 4 & 6, with only a balcony out to the street boundary.



Figure 32 from the
Heritage Impact
Assessment for No6

Needs to be set back

Yours faithfully,

Rodney Hammett

Attachment: Forest St, Forest Lodge – a brief history of its development

Sands Directory records first show Forest St, Forest Lodge in 1870.

From 1870 to 1877 there is only an alphabetical listing of the heads of households for Glebe and Forest Lodge and in 1878 Sands was not published.

In 1879 Sands first showed street names with heads of households – see Figure 1.

Figure 1

Forest Street, 1879

Forest Street—East side	
<i>Parramatta Old road to St. John's road</i>	
	Caban, William
	Foley, Mrs. M., Alexandra house
	Westman, Mrs. Ann
	Thompson, John, blacksmith
	Rogers, John
	Gates, John
	Walker, Mrs. Margaret,
	Vaughan, Mrs. Charlotte
	Archer, W., <i>British Lion hotel</i>
	<i>St John's road</i>
Forest Street—West side	
	Rainford, T. H., <i>Forest Lodge hotel</i>
	Doyle, Mrs. Margaret
No 6	Cummings, James
	Osborne, Alexander
	Timson, Henry
	McLachlan, Robert Henry
	Trowbridge, Robert, wheelwright
	Gough, Richard
	McDermott, Mrs. Sarah
	Dryden, George
	Mustow, Frederick, grocer
	Reids dairy
	<i>St John's road</i>

James Cummings and his family were living at No 6 and they continued living here until 1887 – see Figure 2.

Figure 2

Forest Street, 1887

Forest street (Forest Lodge)—	
East side	
<i>39 Old Parramatta road to St. John's road</i>	
	Caban William F., "Watford cottage"
1	Oohen Joel, "Alexander house"
3	Morgan George W.
5	Thompson John, blacksmith
7	Rogers John, carter
9	Leal Alexander, cab proprietor
11	Walker Mrs. M. P., dray proprietress
13	Vaughan Charlotte
West side	
2	<i>Forest Lodge hotel—Edwin Matthias</i>
4	Jones Thomas
6	Cummings James, cab proprietor
10	King James L.
12	Green John, coach painter
14	Trowbridge Robert, wheelwright
16	Merrifield John, plumber
18	Gough Richard, van proprietor
20	Selby Rachel, "Clyde cottage"
22	Megann Abigail
24	Mustow Mary A.

James Cummings was a cab proprietor which at that time meant a horse and cab. No doubt the open space between Nos 6 and 8 made a good place to keep and feed a horse.

The numbering of Forest St started in 1885.

The ca 1887 survey of Glebe and Forest Lodge shows Forest St almost fully developed at that time. Figure 3 shows Forest St with its houses shaded.

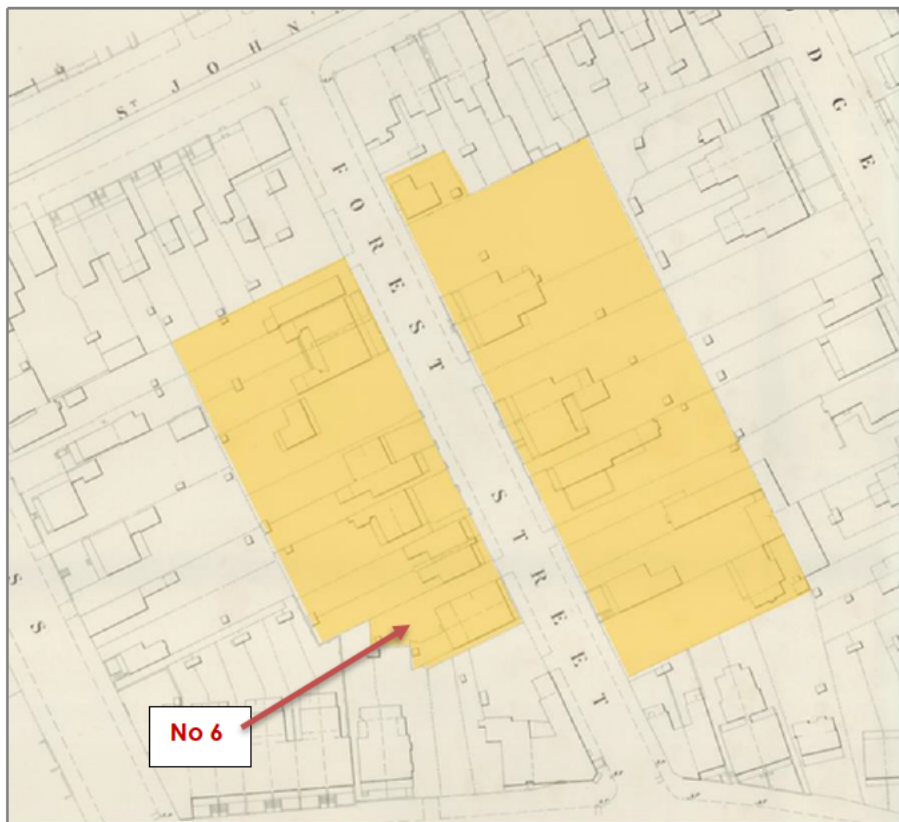


Figure 3

Forest St in the late 1880s

Source:

SLNSW; Metropolitan Survey,
Glebe, Sheet 11 (part)

From: Ethan Howe
Tuesday, March 5, 2024 9:51:09 AM
Sent on: DASubmissions
To: FW: Private: for the attention of Mr. Ethan Howe
Subject:
Attachments: D202496 Submission 04 March 2024.pdf (6.93 MB)

Hi submissions,

Could you please register this for D/2024/96?

Many thanks,

Ethan Howe
Planner
Planning Assessments



cityofsydney.nsw.gov.au



The City of Sydney acknowledges the Gadigal of the Eora nation as the Traditional Custodians of our Local Area.

From: [REDACTED]
Sent: Monday, March 4, 2024 4:45 PM
To: Ethan Howe
Subject: Re: Private: for the attention of Mr. Ethan Howe

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Good afternoon Ethan

Thank you for your patience and generous extension.

Please see the attached.

If you have any queries, please do not hesitate to contact me.

Kind regards

[REDACTED]
[REDACTED]

On 4 Mar 2024, at 8:35 am, Ethan Howe wrote:

Hi [REDACTED]

No problem at all.

When ready, please send through the submission to myself and I will register it in the system.

Kind regards,
Ethan

Ethan Howe
Planner
Planning Assessments



cityofsydney.nsw.gov.au



The City of Sydney acknowledges the Gadigal of the Eora nation as the Traditional Custodians of our Local Area.

From: [REDACTED]
Sent: Friday, March 1, 2024 3:17 PM
To: Ethan Howe
Subject: Re: Private: for the attention of Mr. Ethan Howe

Caution: This email came from outside the organisation. Don't click links or open attachments unless you know the sender, and were expecting this email.

Good afternoon Ethan

My apologies, for troubling you.

I had intended to submit my document this afternoon. I seek your indulgence to submit by Monday morning. The day has flown and I am close but not close enough to submit by 5pm and am hoping you were not going to consider submissions between now and Monday morning.

A million apologies and thanks for your indulgence, in advance.

Kind regards

[REDACTED]

On 1 Mar 2024, at 9:28 am, [REDACTED] wrote:

A million thanks Ethan.

Kind regards

[REDACTED]

On 1 Mar 2024, at 9:21 am, Ethan Howe wrote:

Hi [REDACTED]

Please send your submission to the below email address when ready:

Regards,

Ethan Howe
Planner
Planning Assessments

cityofsydney.nsw.gov.au

The City of Sydney acknowledges the Gadigal of the
Eora nation as the Traditional Custodians of our Local
Area.

From: [REDACTED]
Sent: Wednesday, February 28, 2024 1:55 PM
To: City of Sydney
Subject: Private: for the attention of Mr. Ethan Howe

Caution: This email came from outside the organisation. Don't click links or open attachments unless you know the sender, and were expecting this email.

Dear Mr Howe

6 Forest Street Forest Lodge D/2024/96

I called Council today to speak with you. (Reference OBG1208448.)

I seek an extension of time (by 2 days) to lodge a submission on the above development application.

(I was late to receive notification of the proposed development.)

I shall endeavour to get my submission to you by COB on Friday (and hopefully earlier).

The submission will be sent by email as I would like my name and other identifying information about me to be kept private.

With kind regards and thanks, in advance.

[REDACTED]

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It is submitted that application (D/2024/96) cannot or should not be approved by Council.

1. 6 Forest St (the **Site**) is one of a pair of matching terraces (4 & 6 Forest St). It is also one of a row of Victorian terraces (4, 6, 8 & 10 Forest St). Each terrace in the row is, according to the SOHI, a contributory item. Among other shared features, each terrace in the row of 4 has timber windows and doors, and corrugated iron Mansard roofs to the front & rear.

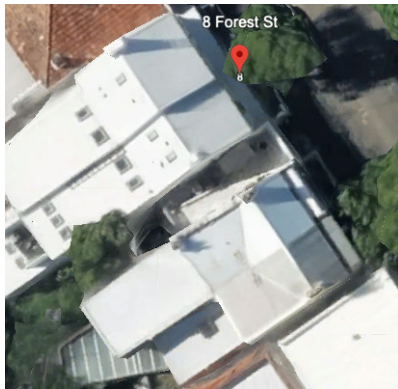


Fig. 1 highlighting mansard roofs in the row of 4 terraces



Fig.2 Timber windows/doors 6 Forest St.



Fig.3 Timber windows/doors 8 & 10 Forest St.



Fig.4 Timber windows/doors 4 Forest St.

2. The proposed development includes a 3-storey addition projecting beyond the streetscape façade building line of the group of 4 terraces and to the maximum height of the original building. It would be a significant interruption to the row of contributory items. And it would not meet various objectives for the HCA, including those in the State government's 2011 *Guidelines for Infill Development in the Historic Environment* and the Council's own *Heritage Inventory Assessment Report*. Critically, it would set a precedent for development that would detract from the heritage values in the HCA.
3. Documentation required, for the application to be properly assessed, is either absent or inadequate. A list of missing & inadequate documents is at Row A on the following table.
4. The proposed development will breach legislative, guideline and policy requirements, including in the Burra Charter, the NCC, the State government's *Guidelines for Infill Development*, the SLEP, the SDGP, Council's Heritage DCP, and Council's *Heritage Inventory Assessment Report*. The breaches are listed in the following table, but a non-exhaustive yet illustrative list includes the following.

- a. The proposal for a 3-storey building will disrupt the streetscape and rear pattern of development of the row of 4 terraces.
 - b. The proposed additions are not, as required to be, smaller in height and scale than the original building.
 - c. A dormer is proposed, however dormers to street frontages in the HCA are impermissible.
 - d. The proposed use of Klip-Lok profile roofing is impermissible. Rather, extensions are to use corrugated iron to match the original roofing and additions are to use BASIX approved and complementary materials.
 - e. The proposed use of Charcoal colour roofing and wall panelling is impermissible. The BASIX approved wall material is brick veneer. And the BASIX approved roofing must have a solar absorptance < 0.475 .
 - f. A proposed flat roof is impermissible. Roofs must be skillion with a pitch of 5° or greater.
 - g. The proposed inset and enclosed balconies are impermissible. They must, rather, follow the line and detail of the original balconies (see the matching terrace, that forms a pair with the Site, at 4 Forest St.)
 - h. The proposed garage and car access are impermissible. They are not permitted on Victorian streetscapes in the HCA.
 - i. The line of building façades in the row of 4 terraces and the matching pair terrace is not respected in the design of the garage nor in the proposed 3-storey infill development.
 - j. No required remediation of the original building facade, its verandah, balcony, parapet or fence is proposed.
 - k. Detracting materials are proposed for the development, including glass balustrading and Colorbond wall panelling and roofing.
5. Council's *Heritage Inventory Assessment Report* requires the collective value of terraces be retained and enhanced. At Row K on the following table, each of the requirements of the *Inventory Assessment Report* is addressed. In short, the application has addressed none of the *Inventory Assessment Report* requirements. The application pays negligible attention to retaining and enhancing the original building. This is a critical oversight. 6 Forest St has been altered and is considered *neutral* rather than *contributory*. Precedent has been set in the Street, however, for the restoration of heritage items so that they become *contributory* or have their *contributory* status enhanced in the streetscape and the HCA generally (particularly as described in the HCA DCP and the *Locality Statements* for Ross Street and Forest Lodge).

This proposal has the very real prospect of further detracting from the status of the Site, to render it “detracting” in the streetscape and the HCA. It also has the very real prospect of setting a precedent for further overdevelopment that does not complement or enhance the HCA or its streetscapes. Some effort has already been paid to restoring properties in the street. It would be a disservice to

allow this development to be built to detract from previous restoration and enhancement of contributory items.



[Fig.5 8 & 10 Forest St, 2014](#) (high front walls)



[Fig.6. 8 & 10 Forest St, 2024](#) (reintroduced palisade fence)

Given the scale and type of works proposed, it is requested that the following be requested of the applicant:

- a pre-demolition/excavation dilapidation report;
- a *works as executed* dilapidation report; and
- a *works as executed* survey.

Thank you for your consideration of this submission.



Row	Summary of Absent or Inadequate Documents	Comments
A	<ul style="list-style-type: none"> <input type="checkbox"/> Arborist Report <input type="checkbox"/> Clause 4.6 Variation Request <input type="checkbox"/> Geotechnical Report <input type="checkbox"/> Survey Plan <input type="checkbox"/> Contamination Remediation Action Plan <input type="checkbox"/> Schedule of Colours, Materials & Finishes <input type="checkbox"/> Waste Management Plan <input type="checkbox"/> Construction Methodology Report & Drawings <input type="checkbox"/> Revised BASIX <input type="checkbox"/> Fire Safety Solution <input type="checkbox"/> Revised Stormwater Plans <input type="checkbox"/> Revised Architectural Plans <input type="checkbox"/> Location Plan <input type="checkbox"/> Revised Shadow Diagrams <input type="checkbox"/> Structural Report <input type="checkbox"/> Dormer window plan <input type="checkbox"/> Demolition Report <input type="checkbox"/> Fencing Details <input type="checkbox"/> Annotated Diagrams, Photographs or Sketches 	<p>Documents Absent from the Application</p> <ul style="list-style-type: none"> ▪ (Arborist Report) 2 trees are to be removed. ▪ (Clause 4.6 Variation) there are many proposed variations and departures from legislative, guideline and policy requirements. No required Clause 4.6 Variation has been submitted. ▪ (Geotechnical Report) this is required as there will be excavation for a retention tank & pool. ▪ (Survey) this is a minimum requirement, but it is also required for Shadow Plans. ▪ (Contamination Plan) this is required as there will be excavation for a retention tank & pool. ▪ (Waste Management Plan) this is required to provide plans for dealing with construction, demolition, and ongoing waste. ▪ (Fire Solution Plan) a fire solution is required: the development will abut a Class 2 Building at 8 Forest St. ▪ (Location Plan) this is a minimum requirement. ▪ (Structural Report) this is required to ensure that there will be no adverse effects (from demolition, construction, excavation and ongoing) on 8 Forest St which will abut the redeveloped Site (HCA DCP 1.10). ▪ (Dormer Plan) measurements, and a schedule of finishes (to the front & sides of the dormer) are required to ensure compliance with Section 4 DCP 4.1.5.4 and Fig. 4.14 and Fig. 4.15. A 1:50 plan is a minimum requirement and is also absent (HCA DCP 8.2.5(3)) ▪ (Demolition Report) demolition is referred to in the Architectural Plans, this is a minimum requirement (HCA DCP 1.13). ▪ (Construction Methodology) the development will abut 8 Forest St: a construction methodology is required for excavation and construction to ensure fire safety; the absence of water penetration(NCC 7.2.7 Flashings and Cappings) between the properties and that appropriate loading will be constructed: there will be demolition and excavation of land abutting the Class 2 building at 8 Forest St. ▪ (Fencing Details) The 2011 <i>Guidelines for Infill Development</i> (at page 14) require the submission of a fencing details plan for assessing development in an historic context. ▪ (Annotated Diagrams) The 2011 <i>Guidelines for Infill Development</i> (at page 15) require annotated diagrams photos or sketches to describe the factors which contribute to the character, scale, and form of the historic context. Models of the development may also be required <p>Inadequate Documents</p> <ul style="list-style-type: none"> ▪ (Schedule of Materials) A revised Schedule of Materials may be required to specify which bricks (listed in the BASIX) will be used for construction of walls; and what roofing material will be used to comply with the BASIX/NCC' requirement of solar absorptance <0.475.

		<ul style="list-style-type: none"> ▪ (BASIX) A revised BASIX certificate may be required: the NCC/DCP does not allow a flat roof (NCC 7.2.3). ▪ (Stormwater) Revised plans may be required: they do not address the pool overflow; the need for the rainwater tank near the pool (see the BASIX); the need for a skillion roof sloping to the rear of the property (and away from 8 Forest St); the need for a new deck to be built to fall to the rear of the property and away from 8 Forest St; or the retention tank. ▪ (Architectural Plans) Revised plans may be required to comply with legislative, guideline and policy requirements. <ul style="list-style-type: none"> a. The plans do not adhere to the requirements for alterations and additions to a contributory item or infill development in an HCA. b. The plans require more detail to enable assessment of the development, including, <ul style="list-style-type: none"> i. elevation plans that show the view to the Site's NW wall (as viewed from 8 Forest St) ii. the proposed transition of heights between the main roof, the roof on the addition (SLEP 4.3(1)(b)); and the roof to the west. iii. an impression of the extension and addition to the rear (the 2011 <i>Guidelines on Infill Development</i> require annotated photomontage or sketches etc. to indicate how the development will complement and enhance the historic setting) iv. sight lines drawings to assess impacts on privacy for neighbouring properties to the east, west, north and south ▪ (Shadow Plans) Revised shadow plans may be required. The plans need to be in accordance with a Survey (which is absent from the application documentation), and they need to compare existing shadowing with planned overshadowing.
	National Construction Code 2022	Comments
B	<p>NCC Part H3 etc. Fire Resistant Construction on an allotment boundary.</p> <p>NCC 3.5.2 Roof Pitch</p> <p>NCC 3.12.2 Solar Absorptance</p> <p>NCC 7.2.3 Flashing and waterproofing</p>	<p>There are no plans for fire resistant construction abutting a Class 2 building. There are questions about fire resistant wall and roof construction and window openings.</p> <p>The proposed roof pitch at 1° is less than permitted under the NCC.</p> <p>The proposed use of Charcoal coloured metal cladding and roofing is not permitted under the NCC</p> <p>There is no proposal for compliance with the NCC so that there is no water penetration between buildings.</p>

	Sydney Local Environmental Plan 2012	Comments
C	<p>§4.6 ...consent must not be granted to development that contravenes a development standard unless ... the applicant has demonstrated (a) compliance ... is unreasonable or unnecessary..., and (b) there are sufficient environmental planning grounds to justify the contravention ...</p>	<p>There is contravention of development standards without justification.</p> <p>No Clause 4.6 Variation request has been submitted with the application.</p> <p>Please see Rows D, F, H & K</p>
D	<p>§6.21C (1) ... consent must not be granted ... unless .. the proposed development exhibits design excellence</p> <p>§6.21C (2) ... the consent authority must have regard to ... (b) whether the form and external appearance of the proposed development will improve the quality and amenity of the public domain</p>	<p>The application does not exhibit design excellence and will not improve the quality/amenity of the public domain.</p> <ul style="list-style-type: none"> • The development does not contribute positively to the HCA. It overwhelms (bulk & scale/materials) contributory items and disrupts the pattern (front and rear) of the row of 4 terraces. • A 3-storey development built to project beyond the building line of facades of the row of 4 terraces, to the full height of the original ridge line and with a flat roof, will overwhelm adjacent and nearby contributory items and detract from the HCA. • What is proposed is a 2-storey addition to the garage. 2-storey additions are to be discouraged according to the <i>Heritage Inventory Assessment Report</i>ⁱⁱ • The proposed fenestration, wall and roofing materials are not supported by the HCA DCP nor by the NCC (aluminium windows and Klip-Lok Colorbond in Charcoal are not permitted in the HCA. Instead, corrugated iron is required for any rear addition roof (where it is used on the primary roof) and any addition must be constructed using complementary, not detracting materials. • The proposed dormer materials are non-traditional. There are no required weatherboard sides, and there is no timber single sash; double hung or double casement window. Rather, an aluminium awning window is proposed with Colorbond flashing/eaves/sides. This design breaches the HCA DCP requirements. (Section 4 DCP 4.1.5.4(2)) • A 3-storey development projecting beyond the building set back established by the row of 4 terraces is not permitted in the HCA. Yet the proposal envisages construction to the line of the northern wall of the (to be demolished). The streetscape wall of the garage exceeds the permissible building line or set back. The 2011 <i>Guidelines for Infill Development</i> (at page 20) suggest bulk and scale be minimised by steps down from one storey to another. The proposed development proposes no step back for the first floor above the garage. By contrast, however, Case Study 02, suggests that to minimise the impact of a garage in infill development, the first floor should project beyond the garage.

		<ul style="list-style-type: none"> • A flat roof to the rear of the main building and the flat roof on the addition will disrupt the pattern of <i>mansard</i> roofing on the row of 4 terraces. • There is an absence of required continuity of a roofline. • Inset and recessed balconies are impermissible in the HCA. • Glass balustrading is not complementary with the materials used in the contributory items in the row of 4 terraces. • There is no required remediation of the Site beyond relocating doors on the first-floor balcony: attention could be paid to the reinstatement of ground floor windows and doors; the palisade fence and gate (required under the Heritage Inventory Assessment Reportⁱⁱⁱ; and the removal of the impermissible rebuilt garage at the front of contributory item in the HCA. • A garage is not permitted to be built to the front elevation of a contributory item in an HCA. • The proposed enclosed or inset balconies are not permissible.^{iv} • If the garage is maintained in situ, the 2011 Guidelines for Infill Development suggest that it be minimised by a projecting verandah (Case Study 02). • The proposed balconies – with glass balustrading – do not offer the required repetitive elements where they are characteristic of the Forest Street (and other) streetscape(s) within the HCA.^v • Because the balconies and verandah at the Site within a pair of buildings, they <i>must</i> be of similar dimensions, location, and orientation to those in the original^{vi} • The proposed addition will adversely affect the silhouette of the parapet line on 6 Forest St^{vii} particularly when viewed from the east or the north: the parapet line will be obscured. • The development is not sustainable: it will date leaving it to be redeveloped in the future (causing environmental waste & pollution).
E	§5.10(1)(b) ... to conserve the heritage significance of ... HCAs including associated fabric	<p>The application does not conserve the heritage significance of the HCA.</p> <p>Please see Rows D, F, H & K</p>

F	<p>§5.10(4) <i>The consent authority must ... consider the effect of the proposed development on the heritage significance of the ... area concerned</i></p>	<p>The application will have an adverse effect on the heritage significance of the area.</p> <ul style="list-style-type: none"> It does not respond to nor does it complement the adjoining (and matching) contributory items or the HCA generally. The 3-storey addition will overwhelm the Site and the row of 4 contributory terraces. <p>Please see Rows D, F, H & K</p>
G	<p>§1.2(j) <i>... to achieve a high-quality urban form by ensuring ... design excellence and reflects the existing or desired future character of particular localities.</i></p>	<p>The application does not achieve a high-quality urban form.</p> <p>It does not reflect the desired future character of the Ross Street or Forest Lodge localities.</p> <p>Please see Rows D, F, H & K</p>
H	<p>§4.3(1)(b) <i>... to ensure appropriate height transitions between new development and heritage items and buildings in HCAs</i></p> <p>...</p>	<p>The application does not propose appropriate height transitions.</p> <ul style="list-style-type: none"> The proposed flat roof will be higher than and overwhelm the contributory item at 8 Forest St in addition to the Site itself. It will disrupt the pattern of roofing in the pair of terraces (4 & 6 Forest Street). There is no required, appropriate transition in heights.

		 <p>Fig.7. The proposed alteration & addition</p>	 <p>Fig. 8 The space for a transition in heights</p>
	City of Sydney Heritage Control Plan 2006	Comments	
I	§1.10 Additional details to accompany a DA, include a Structural Report <i>verifying that the proposed works will not have a detrimental impact ... on neighbouring properties</i>	<p>A Structural Report is required to verify that the proposed works will not have a detrimental impact on 8 Forest St.</p> <ul style="list-style-type: none"> ▪ The proposed works include excavation of ground, demolition of portions of the garage, and construction of the addition that all about the Class 2 building at 8 Forest St. ▪ Without a Structural Report, neighbouring properties are not able to assess whether there will be a detrimental impact from excavation, demolition or development. 	
J	§1.13 <i>The demolition of ... building elements within HCAs must take into consideration ... a Demolition Report</i>	<p>A Demolition Report is required for the demolition proposed in the HCA.</p> <p>The demolition of portions of the garage and ground floor landscaping requires a demolition report.</p>	

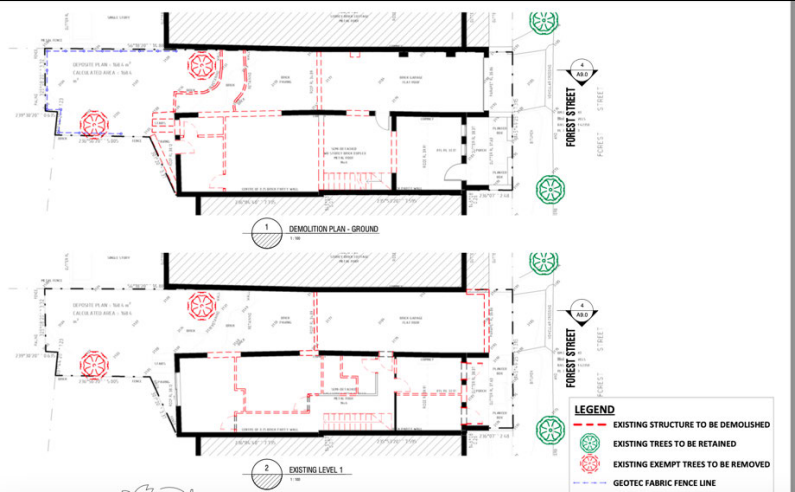


Fig. 9 Demolition of portions of the garage and landscaping to the rear of the Site

- The garage has been poorly built. This is evident in water penetration at 8 Forest St seen on images from the [SOHI](#). Water penetration at either end of the garage. This is also evident as the [driveway is uneven](#) and encroaches onto the pedestrian footpath.
- The building line of the garage does not respect the building line of the facades of the group of contributory items: the row of 4 terraces.



Fig 8 Deck above the garage.

Fig.10 [Damp - northern garage wall](#).

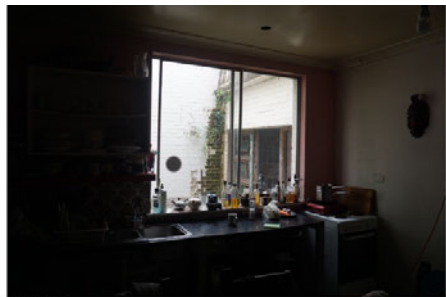


Fig 23 Kitchen

Fig.11 - [southern garage wall](#).



Fig.12 Garage and driveway

K	<p>§4.1 ... to ensure that development within conservation areas ... (ii) enhances the character and heritage significance of the HCA ... by (a) maintaining the positive contribution of contributory buildings to the area or streetscape;</p>	<p>The application proposes inadequate measures to maintain the positive contribution of 6 Forest St in accordance with the <i>Heritage Inventory Assessment Report</i> as one of a pair of contributory items, and as one terrace in the row of 4 contributory terraces</p> <p>a. <i>“Retain Scale – Maintain building alignments – Retain patterns of forms – Retain finishes and details – Reinstall verandahs, front fences, and lost detail”.</i></p> <ul style="list-style-type: none"> ▪ The proposed extension does not retain the scale of the contributory item at the Site. Rather, it overwhelms it. ▪ The proposed extension does not maintain building alignments: it projects forward from the façades of each of the terraces in the row of 4. ▪ The verandah, front palisade fence, and window stone sills can be reinstated. There is precedent for this in the Street (8 & 10 Forest St). ▪ Rendered painted finishes can be used on the extension. (Colorbond walls are associated with ultra-contemporary developments) <p>b. <i>“Respect building line, scale, form and roof pitch of significant development in the vicinity – Encourage rendered painted finishes – Encourage an appropriate level of decorative contemporary detail”.</i></p> <ul style="list-style-type: none"> ▪ The extension does not maintain building alignments: it projects forward from the façades of each of the terraces in the group of 4. ▪ The extension does not encourage rendered painted finishes. ▪ The extension does not encourage an appropriate level of decorative contemporary detail. <p>c. <i>“Encourage recovery of the original character during renovations and building upgrades. No dormers to street frontage - Encourage open palisade .. fences”</i></p> <ul style="list-style-type: none"> ▪ The balcony, verandah, door & fenestration proportions and locations, front palisade fence, and window stone sills can be reinstated. ▪ The original parapet on the street front can be restored to match the parapet to the rear. ▪ There can be <i>no dormer</i> to the street frontage. <p>d. <i>“Identify, retain and protect consistent rear forms”.</i></p>
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		<ul style="list-style-type: none"> ▪ The rear form of the Site matches its pair (4 Forest St.) The consistent rear form is to be retained and protected. ▪ The rear form of the Site is consistent in pattern (mansard roofs) and materials (corrugated iron): they are to be retained and protected. ▪ The rear form of the Site is consistent in pattern (2 storeys): this pattern is to be retained and protected. <p>e. “No car parking and car parking access from Victorian streetscapes”</p> <ul style="list-style-type: none"> ▪ The garage and driveway could be replaced with appropriate infill development built to the line of facades of each of the terraces in the group of 4.
L	§4.2(1) <i>Development within a HCA ... is to be compatible with the surrounding built form and pattern of development by responding sympathetically to (a) existing form, massing, setbacks, scale and architectural style</i>	<p>The development does not respond sympathetically to existing form, massing, setbacks, scale, and architectural style.</p> <p>Please see Rows D, F, K and M</p>
M	§4.2(3) <i>Alterations and additions are not to dominate or detract from the original building</i>	<p>The proposed addition will dominate and detract from the original building.</p> <ul style="list-style-type: none"> ▪ The addition does not follow the building line of the facades of the group of 4 terraces. ▪ The dormer is impermissible (<i>Heritage Inventory Assessment Report</i>)^{viii} ▪ The design of the dormer is impermissible (SDCP 4.1.5.4(2))^{ix} it is not of <i>traditional form, proportions, scale, or material</i>^x ▪ If the dormer were permissible, it would need: timber framing and double casement/single sash or double hung windows^{xi}; weatherboard side walls^{xii}; a width of < 1/3 of original roof width up to 1.3m^{xiii}; a window proportioned 1.5 to 1 measured from head to sill^{xiv} ▪ The roof of the addition does not complement the details and materials of the original: where contemporary materials are proposed, they are to be compatible with the period or architectural style of the building.^{xv} Colorbond with a Klip-Lok profile is not compatible with the period or architectural style of the Site, the matching pair terrace, nor the row of 4 terraces. ▪ The addition and the proposed extension to the rear of the Site detracts from the principal elevation of the contributory building. It does not respect the form, pitch, and ridge heights of the original building^{xvi}. No other terrace of the group of 4 is a 3-storey development when viewed from the streetscape or the rear.

- Colorbond roofing of a Charcoal colour, while specified, is [not an available colour](#). It is assumed, then, that Monument will be chosen. Monument has [a solar absorptance of 0.73](#) which exceeds the permissible absorptance per the BASIX certificate and the NCC^{xvii}
- The proposed enclosed and inset balconies are not permissible.^{xviii} Moreover, they are proposed to project beyond the façade line of the group of 4 terraces.
- The balconies do not have the required repetitive elements which are characteristic of the streetscape within the HCA.^{xix}
- The balconies or verandahs proposed for the original building and the extension are adjacent to contributory items *and* within a pair of buildings. They *must* then, be of similar dimensions, location, and orientation to those in the original^{xx}
- The addition will obscure the roof lines of the eastern walls of 8 & 10 Forest St.^{xxi}
- The addition will obscure the traditional/period fixtures: the “S” shaped bracing plates on the eastern wall of 8 Forest St.



Fig.34 Neighbouring houses to the west.

Fig.13 [Roof lines of the eastern walls of 8 & 10 Forest St](#)

N	§4.2(5) <i>Alterations and additions are to respect the uniformity of properties which form part of a consistent row, semi-pair, or group of buildings</i>	<p>The alterations and additions do not respect the uniformity of properties which form part of a consistent row or pair of buildings.</p> <p>Please see the points at Rows D, F, K and M</p>
O	§4.2(7) <i>Any applications for development within HCAs ... are to demonstrate consistency with the area's Heritage Inventory Assessment Report, in particular the Recommended Management provisions</i>	<p>The application does not demonstrate consistency with the <i>Heritage Inventory Assessment Report</i></p> <p>According to the <i>Heritage Inventory Assessment Report</i>.</p> <ul style="list-style-type: none"> ▪ The HCA is known for its predominant Victorian character^{xxii} ▪ The area is held in high esteem by the local community^{xxiii} ▪ The area has rarity significance for its survival of early 1860s residential development so close to the city centre^{xxiv}; the pair of contributory terraces and the row of 4 terraces are examples of such development. ▪ The collective value of terraces should be retained and enhanced. <p><i>Heritage Inventory Assessment Report</i> requirements not addressed in the application.</p> <ul style="list-style-type: none"> ▪ "Retain Scale – Maintain building alignments – Retain patterns of forms – Retain finishes and details – Reinstate verandahs, front fences, and lost detail".^{xxv} ▪ "Respect building line, scale, form and roof pitch of significant development in the vicinity – Encourage rendered and painted finishes – Encourage an appropriate level of decorative contemporary detail".^{xxvi} ▪ "Encourage recovery of the original character during renovation and building upgrade ▪ "Rear Development – Identify, retain, and protect consistent rear forms – Retain and protect consistent skillions ... - Control changes to the established character of a terrace group ... Do not exceed the built scale – Encourage low impact single storey additions – Discourage visible tow-storey additions"^{xxvii} ▪ "No car parking and car parking access from Victorian streetscapes"^{xxviii} <p>Please see Row K</p>

OO	<p>§4.4(3) <i>Alterations and additions to a neutral building are to (a) remove unsympathetic alterations and additions, including inappropriate building elements (b) respect the original building in terms of bulk, form, scale, and height (c) minimise the removal of significant features and building elements; and (d) use appropriate materials, finishes and colours</i></p>	<p>The application makes no proposal to remove unsympathetic alterations and additions, including inappropriate building elements</p> <p>The proposed development does not respect the original building in terms of bulk, form, scale, and height.</p> <p>While the SOHI identifies the Site as <i>contributory</i>, the <i>SDCP Buildings Contribution Map (Sheet 002)</i>, marks it as <i>neutral</i>. This does not affect this submission, however, as:</p> <ul style="list-style-type: none"> ▪ 4.4(3) imposes a requirement to remove unsympathetic alterations and additions ▪ the <i>Heritage Inventory Assessment Plan</i> requires amelioration of properties in the HCA (see Row K ▪ precedent was set in Forest St with the rehabilitation of the properties at 8 & 10 Forest St <p>Please see Rows D, F, K, M and Q</p>
P	<p>§6.1(i) ... <i>to minimise the impact on the heritage significance of the existing building, HCA, and/or heritage streetscape</i></p> <p>§6.1(v) ... <i>to encourage the reinstatement of demolished significant and original building elements ...</i></p> <p>§6.1(vi) ... <i>to maintain the uniformity of significant coherent front and rear elevations where the building forms part of a group, row or semi-pair</i></p>	<p>The application does not minimise the impact on the heritage significance of the HCA and/or the heritage streetscape of Forest St.</p> <p>The application does not propose reinstatement of demolished significant and original building elements.</p> <p>The application does not maintain the uniformity of significant coherent front and rear elevations where the Site forms part of a row of 4 contributory terraces and where the Site is one of a pair of contributory terraces.</p> <p>Please see Rows D, F, K, M and Q</p>
Q	<p>§6.2(2) <i>Additions should maintain the integrity of the profile and form of the original building, including the roof form and profile and allow the original building to be discerned</i></p> <p>§6.2(3) <i>Additions are to be smaller in height and scale than the existing building</i></p>	<p>The proposed additions do not maintain the integrity of the profile and form of the original building, including the roof form and profile.</p> <ul style="list-style-type: none"> ▪ The original roof form and profile will not be discernible when viewed from the west (from 8 Forest St.) or from the rear. ▪ The integrity of the profile and form of the original building will not be maintained by the proposed 3-storey addition to the rear.

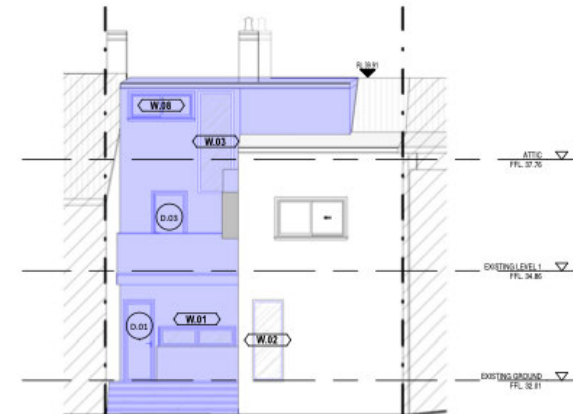
The proposed additions are not smaller in height and scale than the existing building.

Below are the available images of the proposed addition and extension from the front and rear. The SW elevation does not articulate what the rear will look like. It does, however, provide height and scale impressions.

Below, are also examples of infill development between terraces that show developments smaller in height and scale than the original building.




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2 SOUTH-WEST ELEVATION
1:100

Fig. 14 The proposed addition (streetscape and rear)

		<div><p>Paddington House</p><p>A new infill to a large Victorian terrace responds to the existing masonry and cast iron with a contemporary language of off-form concrete and filigree steel.</p><p>Local Government Area / Woodlawn Built / 2019</p><p>Tribe Studio Architects</p><p>Tribe Studio Architects - Heritage Projects</p><p>Submission/Prepared/Architect Name/Date/Size/000/1000</p><p>26 - 34</p></div> <p>Fig. 15 Tribe Studio Infill Development Paddington</p>  <p>Fig. 16 Infill Development, Paddington by Luigi Roselli</p>
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R	<p>§7.1 ... objectives ... to ensure infill development ... (i) respond[s] positively to the character of adjoining and nearby buildings (ii) demonstrate[s] sympathetic bulk, mass, and scale; and (iii) achieve[s] appropriate orientation, setbacks, materials, and details</p>	<p>The infill development does not respond positively to the character of adjoining and nearby buildings.</p> <p>It does not demonstrate sympathetic bulk, mass, and scale.</p> <p>It does not achieve appropriate orientation, setbacks, materials, and details.</p> <p>Please see Rows D, F, K, M, and Q</p>
S	<p>§7.2(1) Infill development is to be designed and detailed to complement the character of buildings within the vicinity of the site, particularly in terms of height, massing, form, bulk and scale, and detailing</p> <p>§7.2(2) Infill development is to be compatible with the proportions of neighbouring buildings, including in terms of bulk and scale, and detailing</p> <p>§7.2(3) The materials and finishes of infill development are to be compatible with the materials and finishes of adjoining ...contributory buildings</p> <p>§7.2(4) Infill development is to use colour schemes that have a hue and tonal relationship with traditional colour schemes</p> <p>§7.2(5) Development is to respond to the established development patterns of the area ... and front and side setbacks</p> <p>§7.2(7) Infill development is not to include garages and car access to the front elevation of the development where these are not characteristic of the area</p>	<p>The infill development does not complement the character of buildings within the vicinity of the Site, particularly in terms of height, massing, form, bulk and scale, and detailing.</p> <p>It is not compatible with the proportions of neighbouring buildings, including in terms of bulk and scale and detailing.</p> <p>The materials & finishes of the infill development are not compatible with the materials & finishes of adjoining contributory buildings.</p> <p>It does not use a colour scheme that has a hue and tonal relationship with traditional colour schemes.</p> <p>It does not respond to the established development patterns of the area, nor its front and side setbacks.</p> <p>It includes a garage and car access to the front elevation which is impermissible (it is not characteristic of the area).</p> <p>Please see Rows D, F, K, M, and Q</p>

T	<p>§8.1(iii) ... to encourage the reinstatement or reconstruction of original or significant detailing and building elements</p>	<p>There is no proposed reinstatement or reconstruction of original or significant detailing and building elements.</p> <p>Please see Row K</p>
U	<p>§8.2.2(2) New [roofing] materials are to match the original materials as closely as possible, in terms of the colours, materials, finishes, sizes and profiles. When contemporary materials are proposed these are to be compatible with the period or architectural style of the building.</p>	<p>The new roofing material does not match the original as closely as possible in terms of the colours, materials, finishes, sizes, & profiles.</p> <p>The contemporary materials proposed for the addition, are not compatible with the period or architectural style of the building.</p> <p>Please see Rows D, F, K, M, and Q</p>
V	<p>§8.2.3(1) Roof alterations and additions are (a) to complement ... the original roof (b) not to detract from the architectural integrity of the principal elevation of a .. contributory item, or group of buildings in a heritage conservation area (c) respect the form, pitch, eaves and ridge heights of the original building.</p> <p>§8.2.3(2) Roof additions are to be set below the ridge line and allow the original form of the main roof to be clearly discerned</p> <p>§8.2.3(4) Roof additions are not to include inset balconies, roof terraces</p> <p>§8.2.3(5) Roof additions are not supported on buildings with front or side parapets where the addition will adversely affect the silhouette of the parapet line</p>	<p>The roof alteration and addition does not complement the original. It detracts from the architectural integrity of the principal elevation of a contributory item and the row of 4 terraces. It does not respect the form, pitch, eaves and ridge heights of the original building.</p> <p>The roof additions are not set below the ridge line and do not allow the original form of the main roof to be clearly discerned from the rear or the west.</p> <p>The roof additions include impermissible inset or enclosed balconies.</p> <p>The roof additions will adversely affect the silhouette of the parapets of 6 Forest St.</p> <p>Please see Rows D, F, K, M, and Q</p>

<p>W</p>	<p>§8.2.4(1) <i>Roof extensions to the rear of a building are to be (a) set back a minimum of 500mm from side walls (b) set down a minimum of 200mm below the ridge line ...</i></p> <p>§8.2.4(2) <i>Roof extensions are to use skillion or single pitch roofs with a minimum 5 degree pitch</i></p> <p>§8.2.4(1) <i>Rear roof extensions are not to interrupt repetitive roof patterns, particularly on pairs, rows and groups of buildings</i></p>	<p>The rear roof extension is not set back a minimum of 500mm from side walls nor set down a minimum of 200mm below the ridge line.</p> <p>The rear roof extension does not use skillion or single pitch roofs with a minimum of a 5° pitch.</p> <p>The rear roof extension will interrupt repetitive roof patterns, particularly the matching mansard roof pattern of its pair terrace at 4 Forest St and the repetitive mansard roof patterns of the group of 4 terraces.</p> <p>Please see Rows D, F, K, M, and Q</p>
<p>X</p>	<p>§8.2.5(3) <i>Dormer windows are to be vertically to horizontally proportioned at a ratio of 1.5:1</i></p> <p>§8.2.5(6) <i>The apex of the gable or top of the dormer roof is to be at least 200mm below the ridge height of the main roof</i></p> <p>§8.2.5(7) <i>The window frame within the dormer window is to be timber framed and a single sash, double hung or double casement type</i></p> <p>§8.2.5(11) <i>Dormer windows are not supported on buildings where (b) there is no established pattern of dormer windows in adjacent properties that form part of a consistent row or group</i></p> <p>§8.2.5(3) <i>Plans for dormer windows must be submitted at a scale not smaller than 1:50</i></p>	<p>The dormer is not permissible in the HCA and streetscape. Moreover, it is not correctly proportioned.</p> <p>The apex of the gable of the dormer is not at least 200mm below the ridge height of the main roof.</p> <p>The window frame in the dormer is not timber nor is the window a single sash, double hung or double casement type.</p> <p>The dormer is not supported as there is no established pattern of dormer windows in adjacent properties that form part of a consistent row or group: none of the matching terrace of the pair nor the row of 4 terraces have dormer windows.</p> <p>No 1:50 plans for the dormer have been submitted with the application.</p> <p>Please see Rows A, D, F, K, M, and Q</p>

Y	<p>§8.5(4) <i>External colour schemes should be appropriate to the architectural period and style of the building</i></p> <p>§8.5(5) <i>Original render should not be removed. Where repairs or replacement is necessary, this should be undertaken using materials consistent with original render</i></p>	<p>The external colour scheme of the addition is not appropriate to the architectural period and style of the building.</p> <p>Materials consistent with the original render are not proposed for alterations or additions.</p> <p>Please see Rows A, D, F, K, M, and Q</p>
Z	<p>§8.6(3) <i>Front fences are to follow the front boundary and be of a design that is appropriate to the style and period of the building</i></p>	<p>There is no proposal to reinstate the original front fence or for the set back of the 3-storey addition to be of a design that is appropriate to the style and period of the building.</p> <p>Please see Rows A, D, F, K, M, and Q</p>
AA	<p>§12.1 <i>ensure that the design and siting of ...garages .. in HCAs . (i) does not interfere with the setting or streetscape character of the ... HCA (ii) does not dominate existing buildings on the site.</i></p> <p>§12.2(2) <i>Vehicle access, parking spaces and structures are not to be located to the front of the site.</i></p>	<p>The proposed garage interferes with the setting and streetscape character of the HCA. It dominates the existing buildings on the Site.</p> <p>Vehicle access should not be located to the front of the Site.</p> <p>Please see Rows A, D, F, K, M, and Q</p>
AB	<p>§14.6.3 <i>Original render should not be removed. Where repairs or replacement is necessary, this should be undertaken using materials consistent with original render</i></p>	<p>Materials consistent with the original render are not proposed for alterations or additions.</p> <p>Please see Rows A, D, F, K, M, and Q</p>

	City of Sydney Locality Statements – Section 2	Comments
AC	<p>§2.6.2 <i>The neighbourhood is to include ... residential uses with high quality designed buildings and an enhanced public domain (b) development is to respond to and complement ... contributory buildings within HCAs, including streetscapes ...</i></p> <p>§2.6.8 <i>Forest Lodge is to remain as a predominantly small scale residential area characterised by a fine grain 'single house' scale (e) Ensure future development responds to the predominant terrace typology and protect distinctive groups of detached and terrace housing</i></p>	<p>The application is not for a high-quality designed building that will enhance the public domain. The development does not respond to or complement contributory buildings within the HCA, including streetscapes.</p> <p>The 3-storey development is not a small-scale residential proposal. It will not ensure that future development responds to the predominant terrace typology and protect distinctive groups of detached and terrace housing.</p> <p>Please see Rows A, D, F, K, M, and Q</p>
	City of Sydney General Provisions – Section 3	Comments
AD	<p>§3.9(b) <i>Enhance the character and heritage significance of ... HCAs and ensure that infill development is designed to respond positively to the heritage character of adjoining and nearby buildings ..</i></p>	<p>The infill development does not respond positively to the heritage character of or adjoining and nearby buildings.</p> <p>It will not enhance the character and significance of the HCA.</p> <p>Please see Rows A, D, F, K, M, and Q</p>
AE	<p>§3.9.6 <i>New development in HCAs must be designed to respect neighbouring buildings and the character of the area, particularly roofscapes and window proportions</i></p> <p>§3.9.6(3) <i>Infill development is not to include garages and car access to the front elevation of the development where these are not characteristic of the area</i></p>	<p>The development is not designed to respect neighbouring buildings and the character of the area, particularly roofscapes and window proportions.</p> <p>The infill development should not include a garage and car access to the front elevation as these are not characteristic of the area.</p> <p>Please see Rows A, D, F, K, M, and Q</p>

AF	<i>\$3.9.8(3) Alterations and additions to a neutral building are to (a) remove unsympathetic alterations and additions, including inappropriate building elements</i>	<p>No proposal is made to remove unsympathetic alterations and additions including inappropriate building elements, such as the garage, front wall, façade doors and fenestration.</p> <p>Please see Row K</p>
AG	<i>\$3.9.10(4) New materials are to complement the colour, finishes and proportion of existing materials on the building .. without detracting from the character and heritage significance of the building</i>	<p>New materials do not complement the colour, finishes and proportion of existing materials on the building.</p> <p>Please see Rows A, D, F, K, M, and Q</p>
AH	<p><i>\$3.11.11(6) Vehicular access is to be designed to give priority to pedestrians and cyclists by continuing the type of footpath material and grade</i></p> <p><i>\$3.11.11(14) Where there is no parking on an original lot and off-street parking is not characteristic, vehicle access from the street is not allowed</i></p>	<p>The garage and driveway do not give priority to pedestrians and cyclists.</p> <p>The footpath material and grade are not continued in front of the Site.</p> <p>The original lot provided for a garden, not off-street parking.</p>

ⁱ NCC 3.12.1.2

ⁱⁱ Heritage Inventory Assessment Report: Enhance Significance (c)

ⁱⁱⁱ Heritage Inventory Assessment Report: Enhance Significance (b)

^{iv} Section 4 DCP 4.1.5.1(4) and 4.1.8.1(3)

^v Section 4 DCP 4.1.8(c) and 4.1.8.1(2) and Figure 4.21

^{vi} Section 4 DCP 4.1.8.2(1)

^{vii} Section 4 DCP 4.1.5.1(5)

^{viii} Heritage Inventory Assessment Report: Enhance Significance (b)

^{ix} Section 4 DCP 4.1.5.4(2)

^x Section 4 DCP 4.1.5(b) and (c) and 4.1.5.4(3)(a) and (5)

^{xi} Section 4 DCP 4.1.5.4(10)

^{xii} Section 4 DCP 4.1.5.4(12)

^{xiii} Section 4 DCP 4.1.5.4(3)(a) and Fig.4.12

^{xiv} Section 4 DCP 4.1.5.4(5) and Fig 4.14

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- xv Section 4 DCP 4.1.5.3(2)
 - xvi Section 4 DCP 4.1.5.1(1)
 - xvii NCC Table 3.12.1.1a
 - xviii Section 4 DCP 4.1.5.1(4) and 4.1.8.1(3)
 - xix Section 4 DCP 4.1.8(c) and 4.1.8.1(2) and Figure 4.21
 - xx Section 4 DCP 4.1.8.2(1)
 - xxi Section 4 DCP 4.1.5.1(5)
 - xxii Heritage Inventory Assessment Report: SHR Criteria (a) [Historical Significance]
 - xxiii Heritage Inventory Assessment Report: SHR Criteria (d) [Social Significance]
 - xxiv Heritage Inventory Assessment Report: SHR Criteria (g) [Rarity]
 - xxv Heritage Inventory Assessment Report: Protection of Significance (b)
 - xxvi Heritage Inventory Assessment Report: Enhance Significance (a)
 - xxvii Heritage Inventory Assessment Report: Enhance Significance (c)
 - xxviii Heritage Inventory Assessment Report: Enhance Significance (e)

From: President The Glebe Society

Sent on: Monday, March 4, 2024 10:54:46 PM

To: dasubmissions

CC: Ian Stephenson; knits

Subject: D/2024/96 - 6 Forest Street FOREST LODGE NSW 2037

Attachments: Submission 6 Forest Street Glebe Society 2024 03 04.pdf (970.41 KB)

Caution: This email came from outside the organisation. Don't click links or open attachments unless you know the sender, and were expecting this email.

Attention Ethan Howe

Dear Mr Howe
Please find the Glebe Society's submission attached.

Regards,

Duncan Leys
President



Please [click here to email your comments](#) about any of the above issues to the President.
You may [unsubscribe](#) from this newsletter, and you will receive no further emails from The Glebe Society.

4 March 2024

Council of Sydney

dasubmissions@cityofsydney.nsw.gov.au

Attention Ethan Howe

Re: D/2024/96 - 6 Forest Street FOREST LODGE NSW 2037

Dear Mr Howe

The application is to add an attic and change the windows and doors on the front elevation of 6 Forest Street and to erect a new three storey addition on the site of the garage which adjoins the house.

The house is located in the Hereford and Forest Lodge Heritage Conservation Area. It is one of a pair of terrace houses erected by the 1880s and adjoins another pair of terrace houses which also date from that period.

The 2012 Sydney DCP includes in its General Provisions Heritage Conservation Areas [Section 3.9.6] the principles that:

New development in heritage conservation areas must be designed to respect neighbouring buildings and the character of the area, particularly roofscapes and window proportions. Infill development should enhance and complement existing character.

It also requires development within a heritage conservation area to be compatible with the surrounding built form and urban pattern by addressing the heritage conservation area statement of significance and responding sympathetically to the type, siting, form, height, bulk, roofscape, scale, materials and details of adjoining or nearby contributory buildings [Section 3.9.6 (1) d]

It directs that new infill buildings and alterations and additions to existing buildings in a heritage conservation area are to complement the character of the heritage conservation area by sympathetically responding to type, siting, form, height, bulk, roofscape, materials and details of adjoining or nearby contributory buildings [Section 3.9.6 (2)]

Section 3.9.8 requires that alterations and additions to a neutral building are to

a) remove unsympathetic alterations and additions, including inappropriate building elements; (b) respect the original building in terms of bulk, form, scale and height; (d) use appropriate materials, finishes and colours that do not reduce the significance of the Heritage Conservation Area [Section 3.9.8 (3)]

It is also a requirement that development within a heritage conservation area is to be consistent with policy guidelines contained in the Heritage Inventory Assessment Report for the individual conservation area [Section 3.9.6 (4)].

The Heritage Inventory Report for the Hereford and Forest Lodge Heritage Conservation Area includes the following standards by which this development application should be measured.

The development must:

- *Respect building line, scale, form and roof pitch of significant development in the vicinity –*
- *Encourage recovery of the original character during renovations and building upgrade - No visible additions that impact on the existing character - No dormers to street frontage*
- *Encourage Victorian style dormers which have less impact to the rear - Control changes to the established character of a terrace group - Encourage a new consistent rear layer to reinforce the collective terrace character - Do not exceed the existing built scale –*
- *Encourage low impact single storey additions*

The Locality Statement 2.6.2 Ross Street includes the principle that *development is to respond to and complement heritage items and contributory buildings within heritage conservation areas, including streetscapes and lanes.* [Locality Statement 2.6.2 (d)]

The Context and Setting of 6 Forest Street



Figure 1 The group of four houses

No 6, with its neighbour number 4 is part of a pair of terraces. It adjoins another pair of terraces, number 8 and 10. Numbers 4, 8 and 10 are classified as Contributory and Number 6 as Neutral. The Neutral classification appears to relate to the unsympathetic but superficial alterations made to the facade of the house in the 1960s/1970s (re figures 2 below) many of which have now been either reversed or ameliorated (see Fig 3 below).

History of the Group in relation to the Management Principles of the Heritage Conservation Area

The management principles for the Heritage Conservation Area include *encouraging the recovery of original character*. The General Heritage Provisions in the DCP share this objective for Contributory and Neutral buildings in heritage conservation areas including to *remove unsympathetic alterations and additions, including inappropriate building elements*,

The group of four houses provide a good case study of how the heritage controls in the DCP have been successful in encouraging the recovery of original character.



Figure 2 Montage showing numbers 6, 8, and 10 c. 2010 (Google Street View 2008 and Perumal Murphy HIS 2014)



Figure 3 Numbers 6, 8 and 10 in 2023 (google street view)

The removal of the high-brick walls on numbers 8 and 10, the brick fence and balustrade from number 6 and putting back the ashlar external render on number 6, a finish consistent with numbers 4, 8 and 10 has removed unsympathetic alterations and recovered original form.

The proposed changes to the façade of number 6 are unsympathetic

Figure 4 below shows why the proposed changes to the façade of 6 Forest Street are contrary to the principles of the 2012 DCP and the management principles of the Heritage and Forest Lodge HCA.

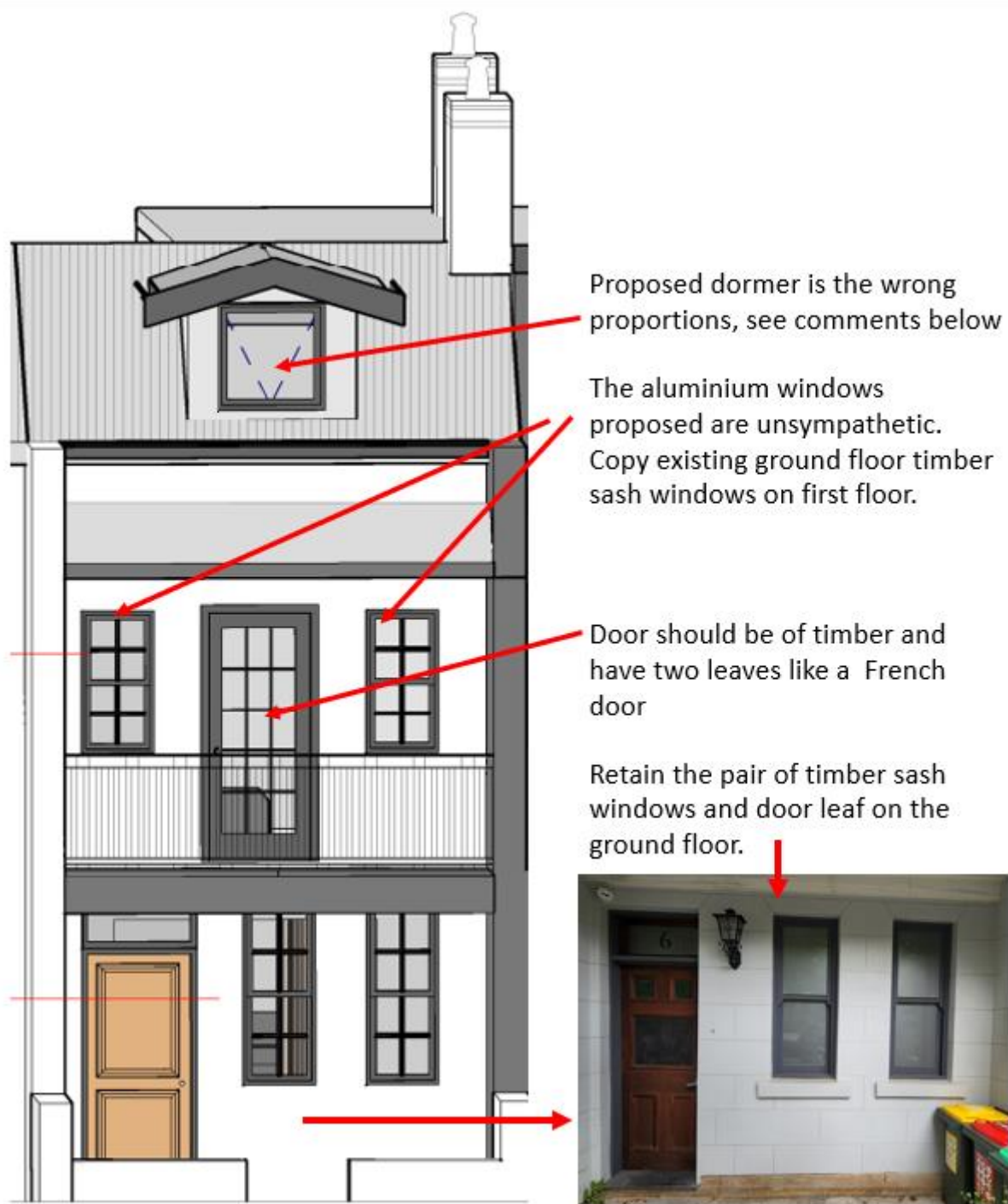


Figure 4 The form of the dormer, the use of aluminium windows, the design of the balcony door and the door leaf for the ground floor are unsympathetic.

The Design of the Dormer Window

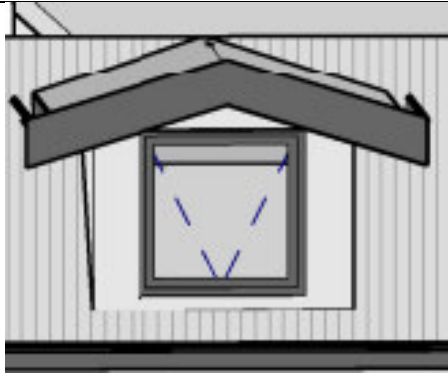


Figure 5 The proposed dormer



Figure 6 The exemplar for dormers in the Sydney 2006 DCP



Figure 7 An example of late 19th century dormer on a house in St Johns Road which has a curved iron roof instead of a gable



Figure 8 A simple dormer on the back range at Woolmers TAS

The management principles in the Heritage Inventory Report for the HCA are quite categorical that there be no *visible additions that impact on the existing character* - *No dormers to street frontage*.

The dormer proposed is unsympathetic both in its form and the type of window itself. Figure 6 is an exemplar for a dormer design from the City of Sydney 2006 DCP. The constrained roof space in the case of number 6 Forest Street may not allow for a gabled dormer but other nineteenth century variants may work such as the dormer with a curved iron roof shown in fig 7 or the early colonial example of a small dormer shown in figure 8.

The addition on the site of the existing garage



Figure 9 Aerial view showing the infill/extension site between the two pairs of terrace houses which was formerly part of the garden of number 6 Forest Street



Figure 10 The existing street scape



Figure 11 The proposed three storey addition to number 6 Forest Street



Figure 12 An example of infill between terrace houses in a heritage conservation area in *Design for Context*, NSW Heritage Office

Originally the two pairs of terraces (numbers 4 and 6) and (numbers 8 and 10) were separated by a garden. A garage was erected on the garden in the 1960/1970s – see Fig 2 above. This was modified around 2018 but remains an unsympathetic element in the HCA for three reasons:

- Garages which address the street are not characteristic of the HCA
- the garage is built forward of the alignment of the front walls of number 4 and 6 Forest Street and numbers 8 and 10, and
- its parapet is over scaled.

The proposed infill/extension compounds these problems by being built forward of the alignment of the front walls of the two terrace house groups and being three storeys with a flat roof.

The building should be recessive not aggressive. It should read as two storeys with a pitched roof. It could be designed to accommodate an attic level.

Figure 12 shows an example of how a new building inserted between a row of terraces in a heritage conservation area should be built on the same alignment of the houses (not forward of them) and have a pitched roof.

Section 3.9.6 of the General Provisions for Heritage Conservation Areas state that *Infill development is not to include garages and car access to the front elevation of the development where these are not characteristic of the area.*

Garages are not characteristic of this HCA.



Figure 13 A garage in the Bishopthorpe Heritage Conservation Area Glebe



Figure 14 An example of an infill building with a garage in *Design in Context*, NSW Heritage Office

The Society acknowledges that there is a garage on the site at present and that this property does not have a back lane.

Garages are not characteristic of the street, if however, given the circumstances of the case, it is in Council's view reasonable to retain the garage on this site then its design needs to be modified by:

- moving its front elevation back to the alignment of the front walls of the neighbouring terraces and
- improving the design of its interface with the street and the adjoining terrace houses.

Figures 13 and 14 show two possible approaches to doing this.

The Rear Elevation

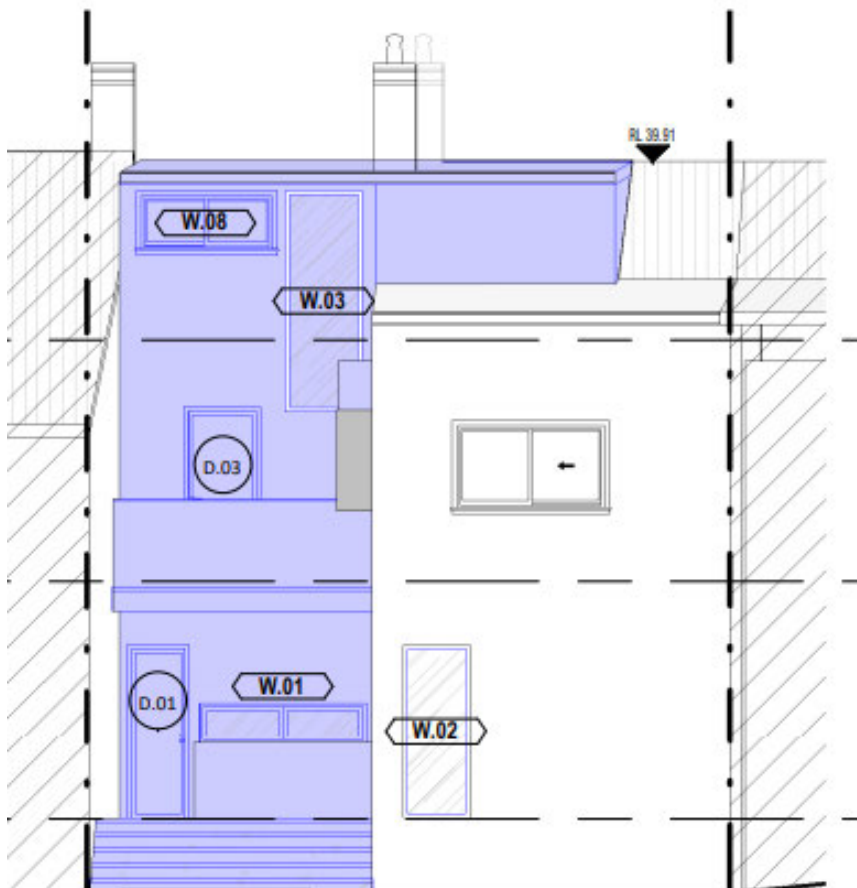


Figure 15 The proposed rear elevation.

The proposed rear elevation is obtrusive. The fenestration with its vertical aluminium sliding windows is incongruous and the rear dormers do not maintain enough legibility of the roof. The attics need to be set in by a minimum of 500mm from side walls and be 200mm below the ridge line.

Figure 16 below shows exemplars of how to insert attics into terrace house roofs in heritage conservation area. These come from the City of Sydney 2006 Heritage DCP. The exemplars inform how the principles in the 2012 DCP which require state that *alterations and additions to existing buildings in a heritage conservation area are to complement the character of the heritage conservation area by sympathetically responding to type, siting, form, height, bulk, roofscape, materials and details of adjoining or nearby contributory buildings.*



Figure 28 – Rear roof extensions

To be set in by a minimum of 500mm from side walls

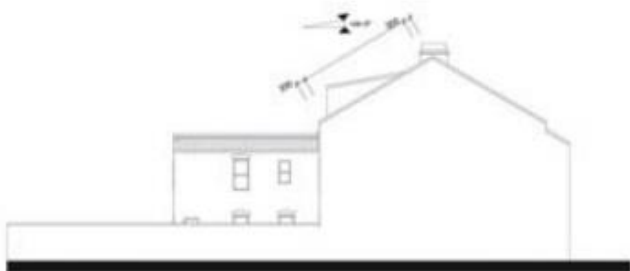


Figure 29 – Rear roof extensions

To be set down a minimum of 200mm below the ridge line and a minimum of 200mm up from the rear wall.



Figure 30 – Rear roof extension

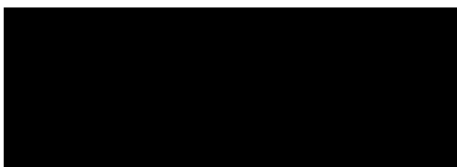
This rear roof extension complies with the set back requirements and allows the main roof slope to be discerned.

Conclusion

The Society recommends that the application be rejected because the proposal does not comply with the planning controls relating to the Hereford and Forest Lodge Heritage Conservation Area as set out in the General Provisions, Heritage of the City of Sydney 2012 Development Control Plan, the Ross Street Locality Statement and the Heritage Inventory Report as set out below:

- I. The design and materials (aluminium with imitation glazing bars) of the first floor windows W.06 and W.07 and door D.04 is inappropriate.
- II. The design of the dormer window on the front elevation is incorrectly proportioned, over scaled and unsympathetic
- III. The infill/extension building proposed for the site of the garage does not reflect the original building (number 6 Forest Street) in terms of bulk, form, scale and height and roofscape or the adjoining Contributory buildings (numbers 4, 8 and 10 Forest Street)
- IV. The infill/extension building should be set back on the alignment of the front wall of the terraces houses 4 and 6, and 8 and 10 Forest Street which it adjoins.
- V. The infill/extension building should have a pitched roof
- VI. The elevations of the extension facing the back yard is crudely designed, bulky and has unsympathetic fenestration.
- VII. The rear attic roof should be lower than the ridge line and should be inset 500mm from the side walls.

Yours sincerely



Duncan Leys
President