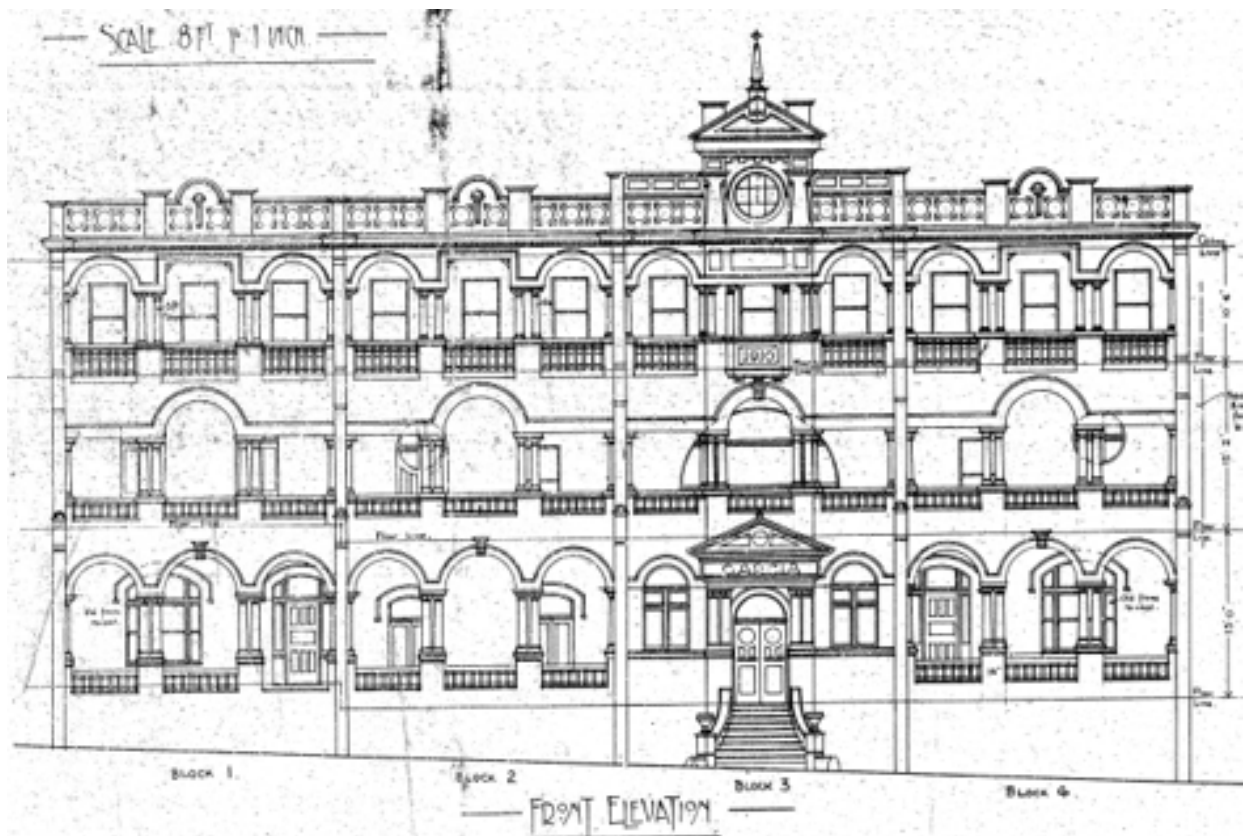


Statement of Heritage Impact

St Vincent's College
Potts Point

Proposed new building, alteration and additions to existing buildings



Prepared by: Vivian Sioutas
Architecture Pty Ltd.

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ST VINCENT'S COLLEGE STATEMENT OF HERITAGE IMPACT

Proposed new building, alterations and additions to existing buildings

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Executive Summary

This report has been prepared to accompany a development application to City of Sydney Council for a proposed new building, alterations and additions at St Vincent's College, Potts Point.

St Vincent's College is listed as an item of local heritage significance and within the Potts Point Heritage Conservation Area on the City of Sydney Local Environmental Plan 2012.

Heritage advice has been embedded in the design process from the outset. Vivian Sioutas Architecture assisted with master planning, identified key view lines, heritage constraints and provided ongoing heritage advice during all phases of design development.

This report assesses the heritage impact of the proposed work on the identified significance of the site, Sydney DCP and against the 1997 and 2010 conservation management plan policies.

Notable features of the proposed development to minimise heritage impacts:

- New hall sunken to lower height of proposed building to respond to bay windows on western elevation of Garcia.
- Proposed Garcia upgrades will improve accessibility, ensure viable, continued use with minimal change to significant building fabric.
- Changes to significant buildings is minimal
- Significant view lines have all been retained
- Heritage interpretation will be incorporated into rear addition to Garcia, a heritage interpretation strategy has been prepared.

The report concludes the proposed development has been carefully considered and will have a minimal impact on the significance of the site, adjacent heritage items and Potts Point heritage conservation area.

1. Introduction

1.1 Purpose

This report has been prepared to accompany the DA submission by St Vincent's College and Ethos Urban and assess the heritage impact of the new building and rear addition to the Garcia Building both within St Vincent's College, Potts Point proposed in this application.

Proposed alterations, also part of this DA submissions, to existing buildings, Vincentia, Aikenhead House, Mary Aikenhead and St Dominic's, will also be considered.

This heritage impact assessment will consider the impact of the proposed development on the buildings affected, St Vincent's College Campus, Potts Point Heritage Conservation Area and heritage items in the vicinity, in accordance with the requirements of the Sydney Local Environmental Plan (LEP) 2012

St Vincent's College is listed as a local heritage item and within the Potts Point Heritage Conservation Area on the Sydney Local Environmental Plan (LEP) 2012. Two LEP listings apply to the College, St Vincent's Convent Group and former Bethania and Carmelita, Items I1121 and I1122 respectively.

1.2 Methodology and Limitations

The methodology used in the preparation of this Statement of Heritage Impact is in accordance with the principles and definitions as set out in the guidelines to the Australia ICOMOS Burra Charter and the NSW Office of Environment 'Statements of Heritage Impact' guidelines.

The assessment is based on site inspections and reference to the following key heritage studies. No additional historical research has been undertaken.

- *St Vincent's College Victoria Street Potts Point Conservation Management Plan* by Ruth Daniell, 2010
- *'Bethania' St Vincents College Challis Avenue Potts Point NSW 2011 Conservation Management Plan* by Orwell and Peter Phillips Architects, September 1997
- *City of Sydney Archives accessed online 16 April 2023*

1.3 Author

The report was prepared by Vivian Sioutas, Heritage Architect with over 20 years' experience in built heritage conservation advice.



Figure 1 Map indicating the location of St Vincent's College, Potts Point (source: Six Maps)

3. Historical Analysis

3.1 Overview

The Sisters of Charity have a long association with this site at Potts Point, having purchased the Tarmons Estate in 1856.

In 1856, the Estate included an existing 1838 house called Tarmons (demolished in the 1960s).

The Sisters of Charity established a hospital on the site called St Vincent's in 1857, followed by a small primary school in 1858. St Vincent's College was formed in 1882.

The current subdivision pattern along Challis Avenue was formed from the subdivision of two larger estates or original land grants to Dr HG Douglas and John Busby. The Challis Avenue subdivision went to auction in 1889. The congregation of St Vincent's Church purchased one lot. St Vincent's College purchased a second property within this subdivision in 1909.

Bethania and Carmelita (now collectively known as Garcia) were completed in 1910.

3.2 Chronology of major events

DATE	EVENT
1809	Potts Point was part of a 30-acre land grant from Colonel William Paterson to Patrick Walsh
1810	Governor Macquarie cancelled all land grants given by Paterson
1810-1820	Macquarie dedicated land from Darlinghurst to Woolloomooloo Bay and east to Kings Cross as an Indigenous Reserve
1820	Lachlan Macquarie resigns as Governor
1822	Macquarie returned to London and Indigenous Reserve abandoned
1831	Land grant to Dr HG Douglas
1831	Land Grant to John Busby
1838	5 sisters of charity arrived in Australia from Ireland Tarmons House was constructed for Sir Maurice O'Connell
1853	A 1998 report by Tanner and Associates attributes the Tarmon Building as having an 1853 construction date. Although this date is questionable.
February 1856	Tarmons House purchased by Sisters of Charity
1857	St Vincent's Hospital opens within Tarmons
May 1858	Small primary school opens in the convent building (Original Tarmons House)
1861	The school applies for Government aid under the Denominational Schools Act 1848
20/7/1867	Freeman's Journal reported the 201 children attended St Vincent's school ¹
1870	St Vincent's Hospital moved from Tarmons to Darlinghurst.
1871	A small high school was opened with 10 pupils in one of the rooms of the convent presumably vacated by the hospital
1879	Mortimer Lewis dies at Rushcutters Bay following a kidney complaint.
May 1882	St Vincent's College was opened in a room of the school building in which St Vincent's high school had been conducted between 1871 and 1882. St Vincent's primary school continued in the same building.
1884	By 1884, the map evidence (shown in Figure 7 below) shows the surviving arrangement of the Tarmon Building.
1889	Challis Estate Subdivision including Challis Avenue
1889	Lots 7-10 Challis Avenue Purchased by the Congregation of St Vincent's Church
1909	St Vincent's College purchases adjacent land from the Gilchrist Family
1910	Bethania at No.17 Challis Avenue completed
1910	Carmelita at No.19 Challis Avenue also thought to be completed
1911-1915	Bethania House the Garcia School of Music
1915-1941	Carmelita house the School of Music
1915-1955	Bethania was used by the Novitiate
Post-1938	Grotto was constructed (Some arches demolished post-1966)
1941-late 1950s	Carmelita served as a hostel for young women
1956-1967	Bethania was used as a teacher training college
1950s-1970s	Carmelita leased for residential purposes
1980-1993	Both buildings were used for boarding school accommodation and music education. Changes made to the internal walls on level 5 to facilitate bedrooms and bathrooms.
1997	Garcia not in use due to poor condition, safety concerns and substandard teaching spaces
1998	Refurbishment of Garcia and demolition of rear wings
Date not known	Toilet block constructed to south of Garcia following demolition of rear wings
2013	DA prepared for rear and side addition to Garcia. Did not proceed

¹ <https://trove.nla.gov.au/newspaper/article/119438371?searchTerm=st%20vincent%20school>

2.4 Garcia building (formerly known as Bethania and Carmelita)

Excerpt from the 1997 CMP for the Garcia Building (formerly known as Bethania) by Orwell and Peter Phillips Architects.

Early History of Potts Point and Challis Avenue

The land from Darlinghurst to Woolloomooloo Bay and east to the area now known as Kings Cross was set aside as an Aboriginal Reserve by Governor Macquarie. It was named Henrietta Town,

Soon after Macquarie's departure, this land began to be granted for other purposes. Several mills were built on it, but the principal divisions were made in the form of grants of land to members of the colonial establishment during the later 1820s and early 1830s. Stipulations of the grants required there to be only one villa or residence per grant, that the building must cost at least one thousand pounds and that the Governor had the right to approve the building and its location. When built these houses formed one of the most elite areas of the town.

The land upon which "Garcia" (formerly Bethania) now stands was on the boundary of two of these original land grants. One grant was made to Dr HG Douglas in 1831 who sold to Colonel Shadforth in 1832. The other grant was to John Busby in 1831. There were eventually three significant houses built on this land – Adelaide Cottage, Tarmons and Rockwall.

Plans from the later 19th century show the subdivision of several estates to create streets and lanes, including Challis Avenue was divided into allotments and sold. The area on which Garcia now stands was put to auction and Lots 7-10 Challis Avenue were purchased by the Congregation of St Vincent's Church and the Gilchrist family. The Gilchrists sold the land to St Vincent's College in 1909.

St Vincent's (Ladies) College was formed in 1882. It was founded by the Sisters of Charity of the Catholic Church and named after the patron saint of the poor, St Vincent de Paul.

Bethania and Carmelita

Originally, two separate buildings "Bethania" at no.17 and "Carmelita" at No.19 were built on this site. The two buildings still exist with separate names and street numbers but are now more commonly referred to as one, now known as Garcia. There is an oral tradition that construction of "Bethania" and "Carmelita" had been commenced by the Gilchrist family and completed (and altered) by the College for its own purposes, the few remaining documents would seem to support this tradition.

According to the St Vincent's Congregation Archives, the building of "Bethania" at No.17 Challis Avenue was completed in 1910. There is no clear evidence, but it is assumed that the building of "Carmelita" at No.19 Challis Avenue was also completed in 1910.

Between 1911 and 1915, Bethania housed the Garcia School of Music which relocated from No.21 and 23 Challis Avenue. The Garcia School of Music was founded and conducted by Mary Mother Paul of the Cross, formerly the famed contralto, Madame Christian.

In 1915, the School of Music was relocated to No.19 (Carmelita). The School of Music remained at Carmelita until 1941, when it closed upon the death of Madame Christian. From late 1941 until the late 1950s Carmelita was made available to the Theresian Club who conducted a hostel for young women. Between the late 1950s and the late 1970s the building, Carmelita was leased to various tenants for residential purposes.

Meanwhile, at “Bethania”, when the Garcia School of Music was moved out in 1915, the Novitiate was transferred to the building. The Novitiate remained in Bethania until 1955 when they relocated to Wahroonga. St Vincent’s Training College was also conducted in Bethania between 1915 and 1955. From 1956 to 1967, Bethania was used as a teacher training college.

Between 1967 and 1979, Bethania was initially used as a hostel for elderly pensioners and later to accommodate young disabled men.

Between 1980 and 1993, Bethania and Carmelita were used both as accommodation for the boarding school of St Vincent’s College and for music education purposes. An archway between Nos.17 and 19 was completed in 1980 to expand the premises and join Bethania and Carmelita.

The original drawings including plans, sections, elevations and details of the original building are dated as being approved on 29 March 1910. Refer to Figures 6-11 below.

An interesting annotation on the drawings is a note stating that “hatched portions indicate existing brick walls”. This lends weight to the oral tradition that construction of “Bethania” and “Carmelita” had been commenced by the Gilchrist family and completed (and altered) by the College for its own purposes.

Only minor changes have been made to the buildings since their construction. These changes include refurbishment of bathroom areas, enclosure of fire stairs, demolition of rear wings, changes to room division.

S7-46/1

S7-46/1

CHALLIS ESTATE POTTS POINT

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VENDORS 45 City Residence Sites.

THE AUSTRALIAN MUTUAL INVESTMENT & BUILDING CO. LIMITED

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HARDIE AND GORMAN

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RICHARDSON AND WRENCH LTD.

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WITHOUT INTEREST.
BALANCE in 3 annu^y yearly payments

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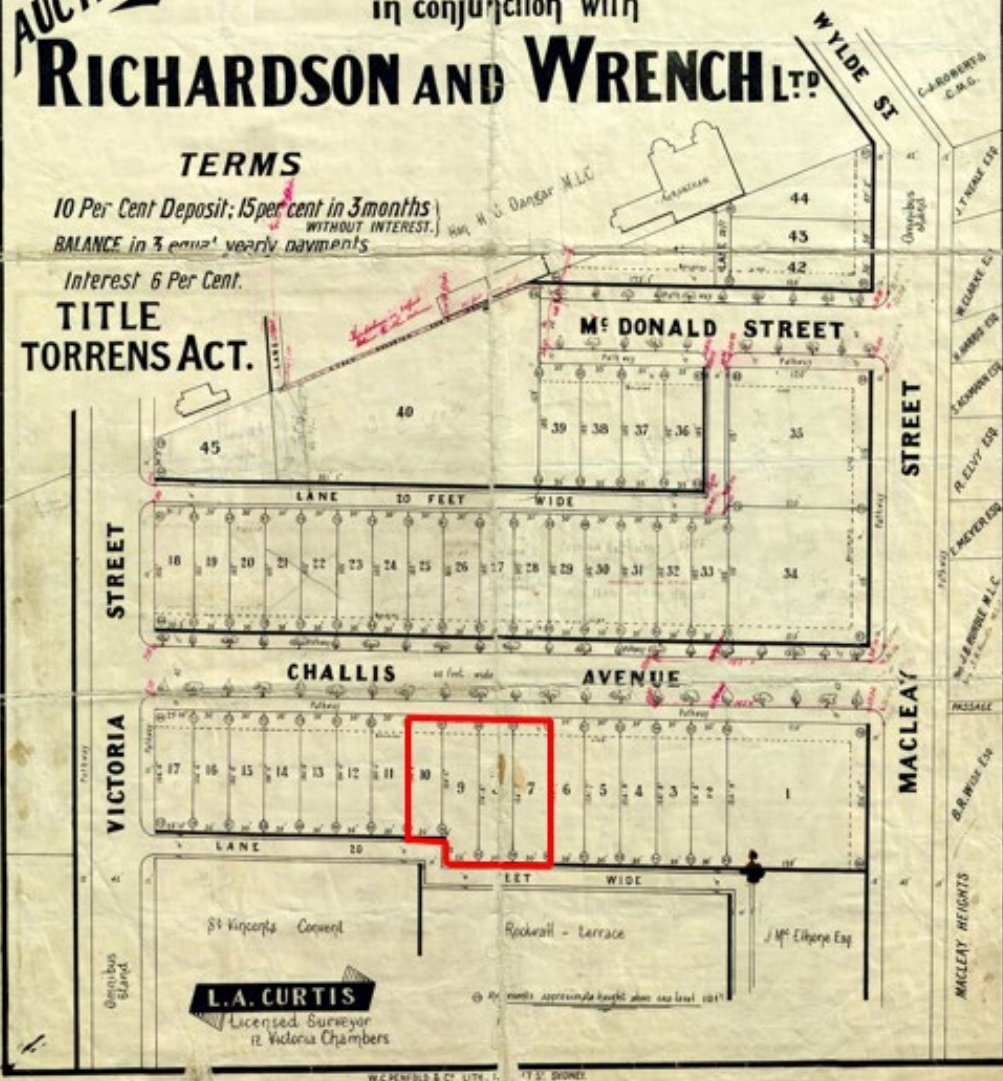


Figure 2: Challis Estate Subdivision Plan 1889. Garcia Stands on Lots 7-10.. (Source City of Sydney Archives <https://archives.cityofsydney.nsw.gov.au/nodes/view/1069785>)



Figure 3: Aerial View showing the location of Bethania and Carmelita. The buildings are now collectively known as Garcia



Figure 4 Rockwall Lane looking west in 1964. The south elevation (rear wings subsequently demolished) of Garcia is visible on the right side of the lane. (Source City of Sydney Archives)



Figure 5: Rockwall Lane looking east in 1964. The south elevation (rear wings subsequently demolished) of Garcia is visible on the left side of the lane. (Source City of Sydney Archives)

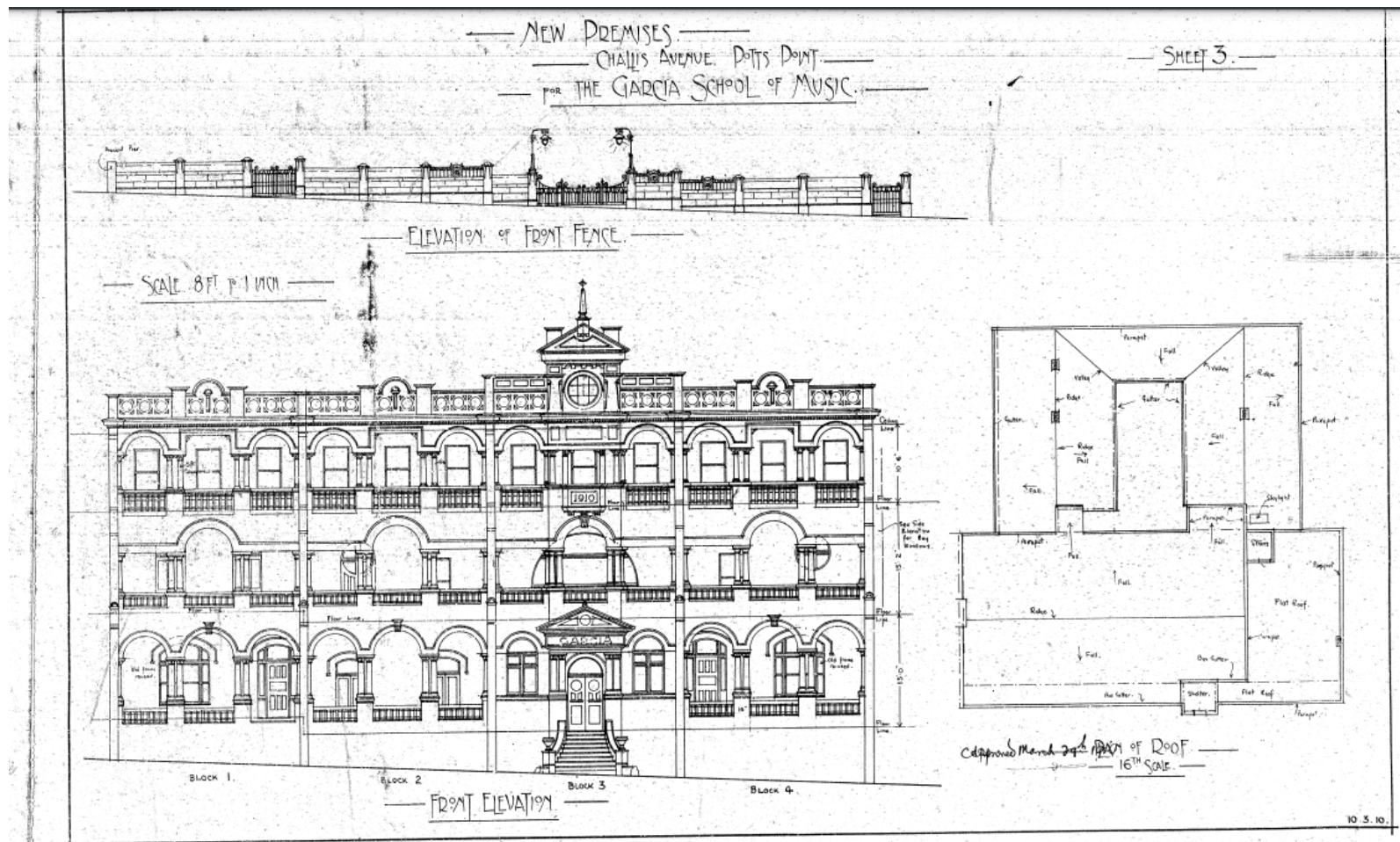


Figure 6: Original Architectural Drawing – Front elevation, roof plan and front fence Garcia School of Music (Source: City of Sydney Archives <https://archives.cityofsydney.nsw.gov.au/nodes/view/1424531?keywords=garcia&type=all&highlights=WyJnYXJjaWEiXQ==&Isk=1e1c00050cdee25de7a7a4580fef96b0>)

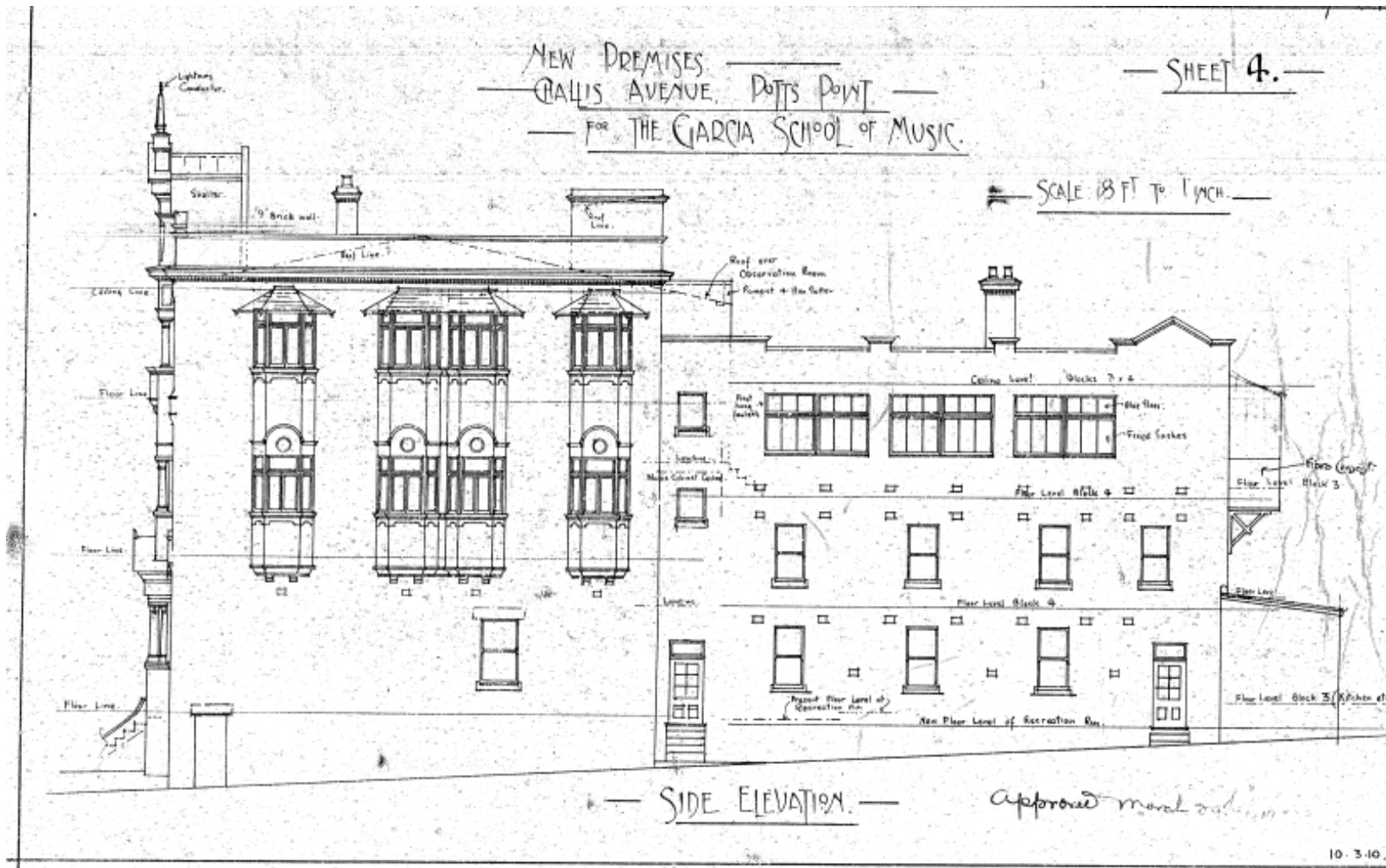


Figure 7: Original Architectural Drawing – West elevation - Garcia School of Music (Source: City of Sydney Archives)

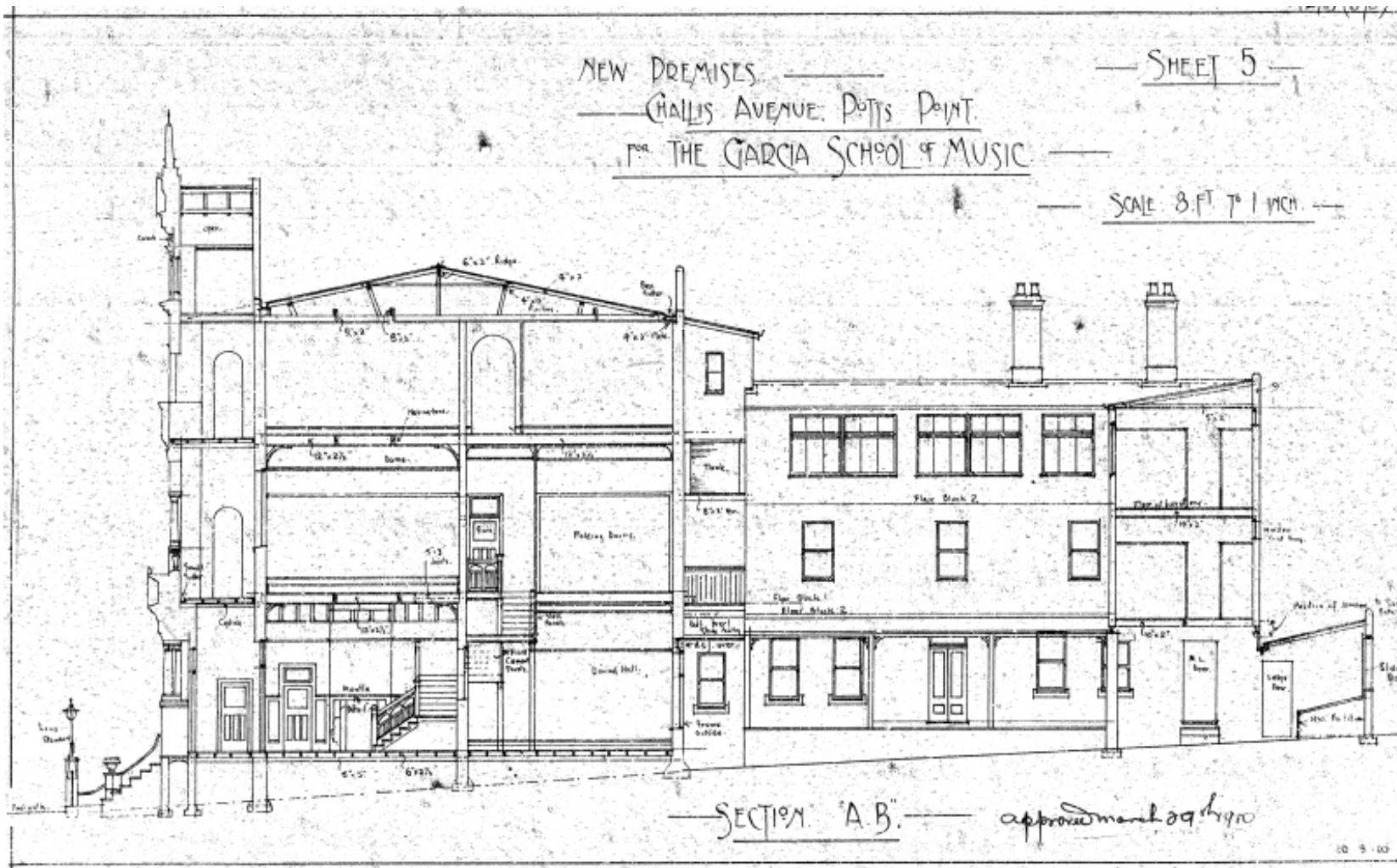


Figure 8: Original Architectural Drawing – Section - Garcia School of Music (Source: City of Sydney Archives)

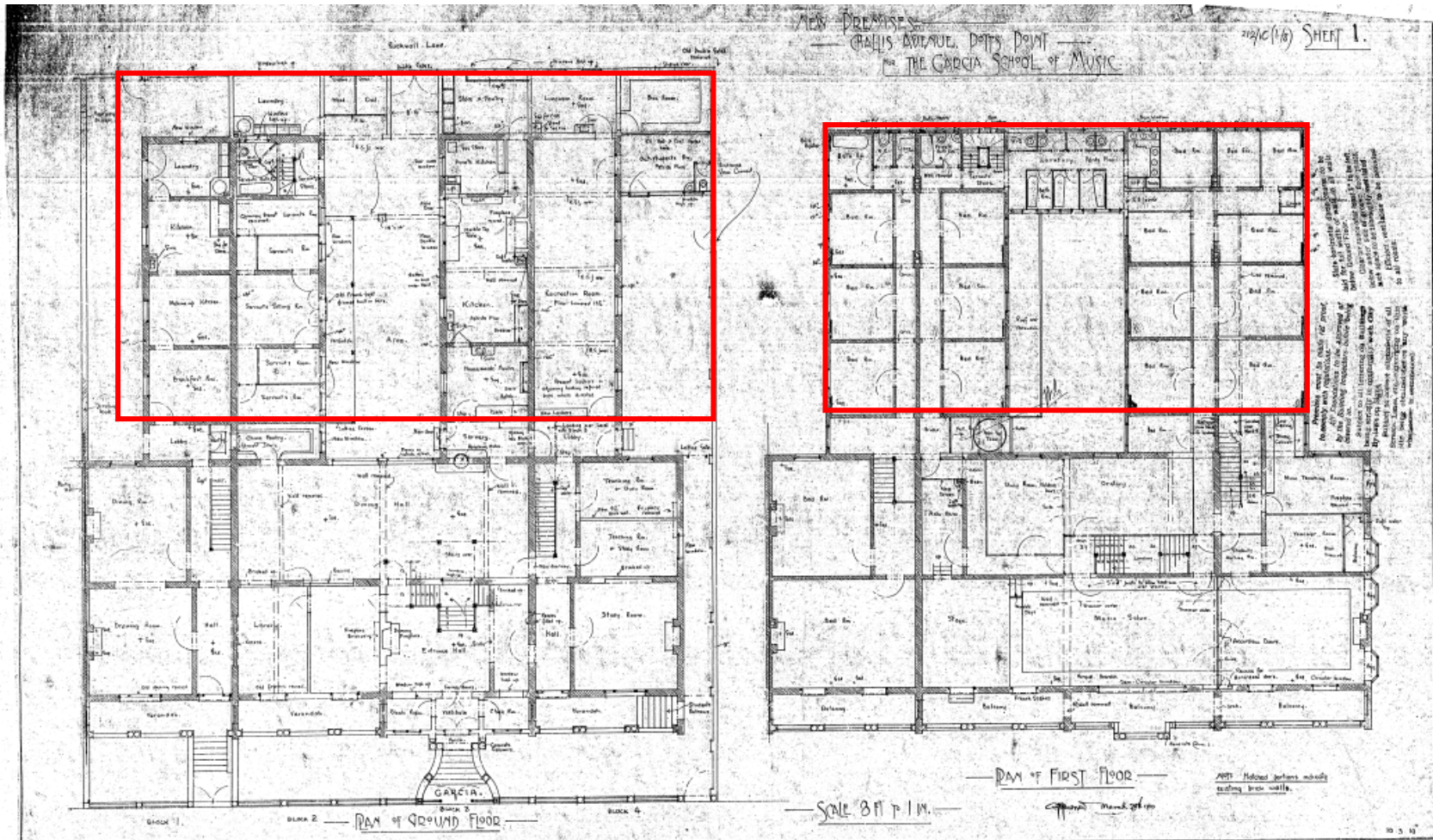


Figure 9: Original Architectural Drawing – Ground and first floor plan - Garcia School of Music (Source: City of Sydney Archives) The rear wings were demolished in 1998 (outlined by red rectangle)

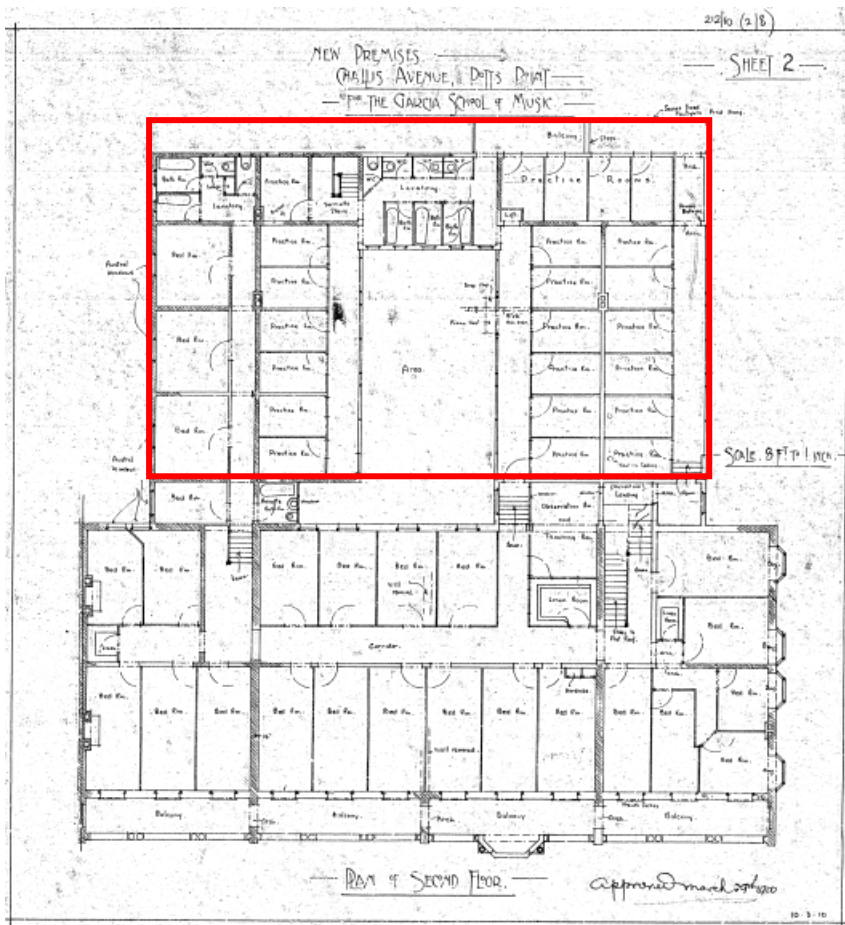


Figure 10: Original Architectural Drawing – Second floor Plan - Garcia School of Music (Source: City of Sydney Archives). The rear wings were demolished in 1998 (outlined by red rectangle)

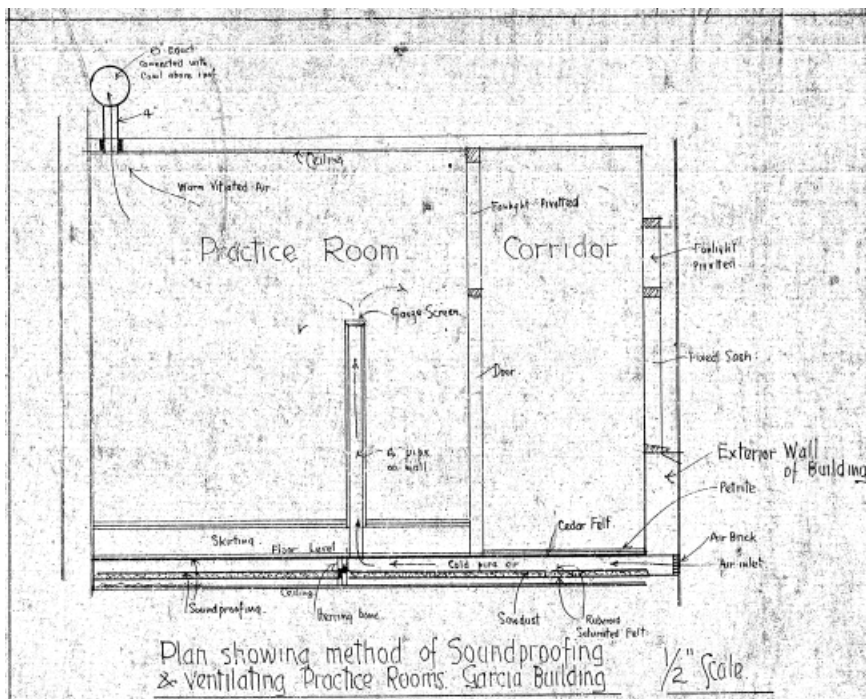


Figure 11: Original Architectural Drawing – Practice room soundproofing - Garcia School of Music (Source: City of Sydney Archives)

There are a number of buildings at St Vincent's College, as shown in Figure 1. Each building has been provided with an identifier (alphabetical letter) and a key to the identifier is provided.

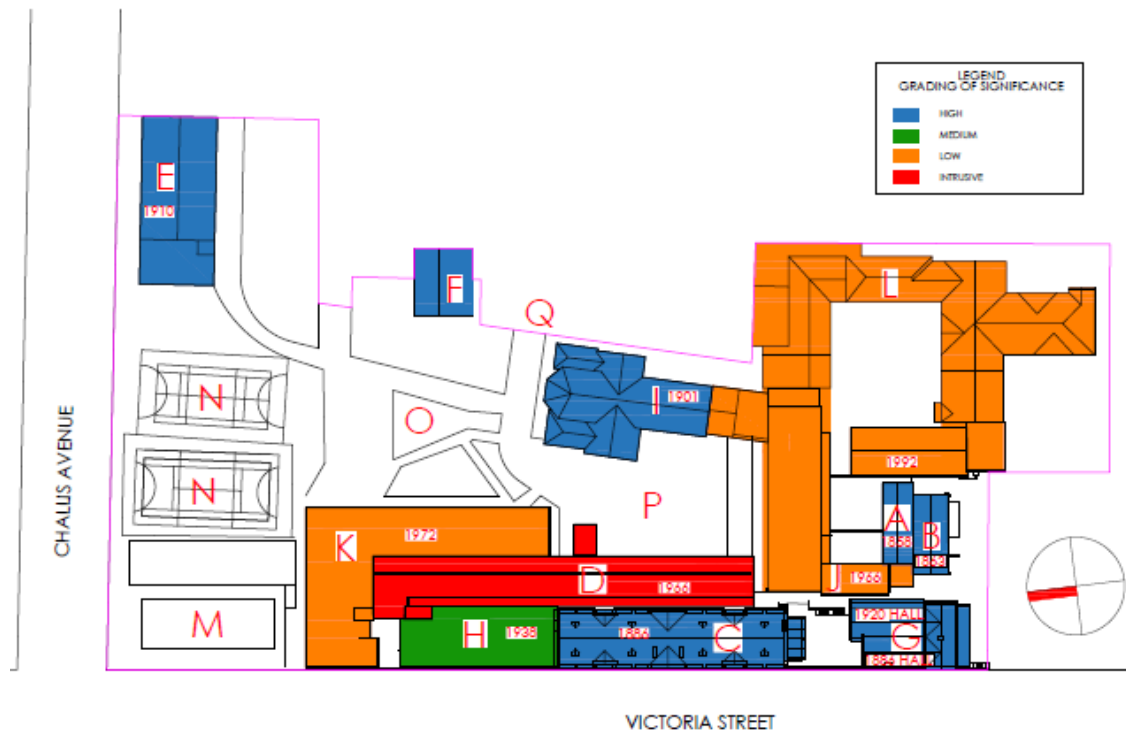


Fig 1: PLAN OF EXISTING BUILDINGS AT ST VINCENT'S COLLEGE

KEY TO EXISTING BUILDINGS

- A & B Early school buildings c. 1858 and 1863 at the rear of the 1966 Tamons House (the exterior is of high heritage value and the interior of the 1863 building is of low heritage significance)
- C Large 1886 main school building on the Victoria Street frontage (the exterior is of high heritage significance and the interior is of medium heritage significance)
- D 1966 addition to the 1886 school building
- E & F Bethania 1901 or 1910? (15-19 Challis Avenue) - the exterior and interior is of high heritage value) (Part of Local Heritage Item) and Terrace House No 2 Rockwall Crescent - exterior and interior is of high heritage value)
- G Small 1886 school building with a later 1920 addition on the southern end of the Victoria Street frontage (both high and medium heritage significance)
- H 1938 School building, (exterior and interior is of medium heritage significance)
- I School Chapel 1901 (exterior and interior is of high heritage significance)
- J 1966 Tamons House, (low heritage significance including the link between 1966 Tamons and the Chapel, however remnant fabric of the original Tamons Building is of high heritage significance)
- K 1972 School building (low heritage significance)
- L 1992 boarding house building (Aikenhead House) (low significance)
- M swimming pool.
- N two tennis courts.
- O garden areas.
- P parking area.
- Q vehicle entry from Rockwall Crescent.

Figure 12: Plan of existing buildings at St Vincent's College with construction dates and grading of significance (Source: Vivian Sioutas Architecture)

4. Description

4.1 DESCRIPTION OF GARCIA BUILDING

Excerpt from the 1997 CMP for the Garcia Building (formerly known as Bethania) by Orwell and Peter Phillips Architects.

EXTERNAL

North Elevation

The main northern elevation of Garcia (formerly Bethania) faces Challis Avenue. The building appears as a row of four grand white three storey terrace dwellings of the Federation Free Classical style with rendered stucco finish.

The first terrace to the east is No.19, formerly known as Carmelita, which retains its original separate entrance. A sandstone partition fence also separates Carmelita from the rest of the terrace owned by St Vincent's College. The other three terraces at Number 19 were formerly known as Bethania. At the centre of these three terraces is the main entry consisting of marbles steps with sandstone sides and timber doors and windows with stained glass panels. Directly over the main entrance is a masonry pediment with stucco details, a central cross and "St Vincent's College" in brass lettering. A series of pediments and ornamentation continues above the entrance, culminating in a final pediment at roof level.

This northern façade consists of colonnaded verandahs on all three levels, these are expressed as a rhythmic sequence of arches and columns, leading to the elaborated pediment and detail of the main entry of the building. An ornate parapet creates a decorative access on the skyline.

Other Elevations

The western elevation consists of a series of bay windows protruding from the first and second floors.

There is no eastern elevation as this is the common wall between the building and the neighbouring property.

The south or rear elevation has retained the two bays which represent the beginning of what was formerly the rear wings containing practice rooms which were demolished in the 1990s. In the centre of the south elevation is a series of 5 stained glass windows, the centre window arched.

INTERNAL

Generally

Many original features can still be found in the present building.

Floors are general timber boards, approximately 90mm wide and in good condition. The ground floor reception area and parts of the first-floor hall of the terrace formerly known as Bethania have timber parquet floors. The ground floor areas of Carmelita have a tessellated tiled board to the floors and thresholds.

Timber joinery consists of moulded skirtings, picture rails and architraves to most rooms. The front staircases have carved timber posts and balustrade details. The reception room has a very elaborate fire surround as well as carved timber panelling on walls and substantial decorative ceiling beams.

There are some original doors of panelled timber with original hardware. Windows vary between bay windows, double hung and casements. Decorative features on windows and doors include stained glass panels and circular profiles.

Some original moulded plaster ceilings are in evidence. There are very few cornices. One room on the first floor has a pressed metal ceiling. The large and small halls on the first floor have barrel vaulted ceilings. The partition wall system consists of a structure of steel expanding mesh and the plaster has been set on to this mesh. There are many original plaster wall vents.

The most visible changes to the building are those made recently to create fire-isolated stairs, which have resulted in the loss of original openings and doors, the insertion of modern fire doors in steel frames, and the coating ceilings with a sprayed material presumably as fire protection.

Later additions of First Floor generally include:

- Fire isolated stairs
- Modern fire doors in steel frames
- Sprayed coating on ceilings, presumably as fire protection
- Aluminium double hung window mechanisms inside original bay windows
- Partitions in some rooms and bathroom facilities fitted
- Fluorescent and dome glass electric light fittings
- Carpet and metal strips on stairs

Later additions of Second Floor generally include:

- Aluminium double hung window mechanisms inside original bay windows
- Partitions in some rooms and bathroom facilities fitted.
- Fluorescent and dome glass electric light fittings
- Carpet and metal strips on stairs
- Fire-isolated stairs
- Modern fire doors in steel frames
- Sprayed coating on ceiling, presumably for fire protection

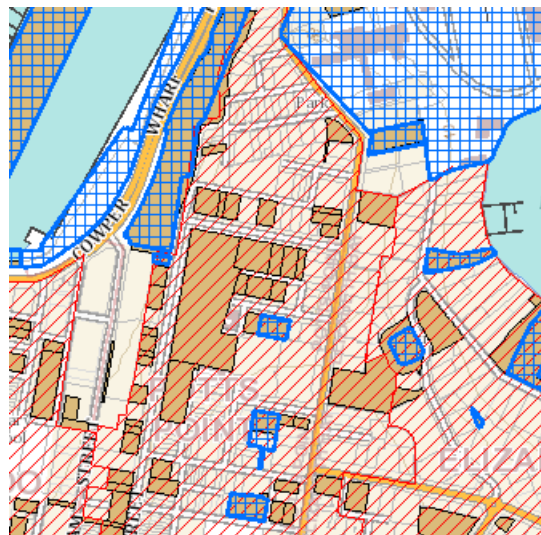
4. Significance

4.1 St Vincent's College Heritage Listings

The following statutory heritage listings apply to St Vincent's College, Potts Point (Lots 24-26 DP4370, Lots 11-17 DP4370, Lot X DP415506, Lot 1 DP825721, Lots 11-17 DP2436, Lot 10 DP912103, Lot 1 DP935719, Lot 1 DP135902, Lot 19 DP975168, Lot A DP106390):

- Sydney Local Environmental Plan (LEP) 2012
 - St Vincent's Convent group including buildings and their interiors Local significance Item I1121
 - Terrace Group including interiors and front fencing (2 Rockwall Crescent) Local significance Item I1152
 - Potts Point Heritage Conservation Area Local significance C51
 - Former Convent "Bethania and "Carmelita" (formerly 15-19 Challis Avenue) including interiors Local significance I1122

The LEP listing of St Vincent's College recognises the importance of the continued association with the Sisters of Mercy, heritage values and significance of the built heritage.



State Heritage Register Curtilage	Heritage Conservation Area
EPI Heritage	Item - Aboriginal
Aboriginal Place of Heritage Significance	Item - Archaeological
Conservation Area - General	Item - General
Conservation Area - Landscape	Item - Landscape

Figure 13: Heritage Listings Map – St Vincent’s College (Source: NSW Planning Portal)

4.2 Heritage Items in the Vicinity of the Proposed Work

The proposed development within St Vincent’s College Campus is in the vicinity of the following heritage items listed on the Sydney LEP 2012:

- Sydney Harbour Naval Precinct, including Garden Island (I1116);
- 2 and 4 Challis Avenue – Terrace group “Korein” and “Maroura” (I1123);
- 2A Challis Avenue - Flat building “Camelot Hall” (I1124);
- 8 Challis Avenue – Terrace house “Belgravia” (I1125);
- 21-23 Challis Avenue – Terrace group “Byrock” and “Uralla”(I1126);
- 25-27 Challis Avenue – Terrace group “Highclere” and “Romney Hall”(I1127);
- 29 Challis Avenue – Terrace house “Saraville”(I1128);
- 55 MacLeay Street – Terrace house “Santa Fe”(I1139);
- 57-59 MacLeay Street – Former artists’ studio “The Yellow House”(I1140);
- McElhone Stairs (I1148);
- 2-4 Rockwall Crescent – Terrace group (I1152);
- 5 Rockwall Crescent – House “Rockwall” (I1153);
- 6-16 Rockwall Crescent – Terrace group “Brunswick Terrace”(6–14 Rockwall Crescent) (I1154);
- 10-20 Rockwall Crescent – Terrace group “Pamela Terrace”(16-20 Rockwall Crescent) (I1155);
- 46-52 Victoria Street – Terrace group (I1164);
- 55-69 Victoria Street – Terrace house (55 Victoria Street) (I1165);
- 55-69 Victoria Street – Terrace group (57-59 Victoria Street) (I1166);
- 55-69 Victoria Street – Terrace group “Hortonbridge Terrace”(61–69 Victoria Street) (I1167);
- 75-99 Victoria Street – Terrace house “Edina”(75 Victoria Street) (I1168);
- 75-99 Victoria Street – Terrace house “Hordern House” (77–79 Victoria Street) (I1169);
- 75-99 Victoria Street – Terrace house (81 Victoria Street) (I1170);
- 75-99 Victoria Street – Terrace group (83-85 Victoria Street) (I1171);
- 75-99 Victoria Street – Terrace house (97-99 Victoria Street) (I1172); and
- 80-102 Victoria Street – Terrace group (I1173).

4.3 Legislative Constraints

Heritage Act 1977

St Vincent's College is not listed on the State Heritage Register. Therefore Section 57 of the Heritage Act 1977 does not apply.

Division 9 of the Heritage Act 1977 is applicable to any land in NSW where excavation or disturbance is likely to result in the discovery or exposure of a relic.

An archaeological assessment was prepared to support this development application by Unearthed Archaeology and Heritage in June 2023. This report concluded that archaeological deposits or relics are not expected within the study area.

Sydney LEP 2012

Section 5.10(4) of the LEP requires Council to consider the effect of any proposed development on the heritage significance of the item, site, conservation area and heritage in the vicinity of the proposed work.

This heritage impact assessment considers the effect of the proposed works on the heritage significance of the item, site, conservation and heritage items in its vicinity.

Sydney DCP

This document provides detailed heritage and conservation planning guidelines to ensure that development applications are assessed on the basis of heritage significance and desired heritage outcomes.

The report takes into consideration whether the proposed development meets the DCP guidelines.

State Environmental Planning Policy (Transport and Infrastructure) 2021 (TISEPP 2021)

There are no applicable planning pathways for this proposal under the TISEPP 2021, development consent from the City of Sydney is required.

4.4 Statement of Significance

The following statement of significance is taken from the State Heritage Inventory listing sheet for St Vincent's Convent Group including buildings and their interiors and grounds:

St Vincent's College is of historic significance for its long association with the historical development of Potts Point and with Tarmons, one of the earliest residences, and with the Sisters of Charity, the founding order of the school.

There are early historical associations with Sir Maurice O'Connell and Sir Charles Nicholson the first and second owners of the original Tarmons House.

The site is associated with a number of architects of note. The 1886 building was designed by prominent architects Sheering and Hennessey. The 1863 building was possibly designed by

Government Architect Mortimer Lewis. The Chapel was designed by Dublin architect W.H. Byrne, with details transposed to Gothic details by Sydney architect Arthur Polin. The 1938 College Building was designed by Clement Glance Senior, an architect who designed a number of institutional buildings for the Catholic Church.

The Victoria street frontage of the buildings on the site have high aesthetic significance and landmark qualities, in particular the main 1866 building, smaller 1886 building on the southern and the 1938 building.

The main 1886 Victorian Gothic style building and the Small School Hall in the same style, and the 1901 Federation Gothic Revival Style red brick and sandstone building have high significance for their architecture.

Bethania on Challis Avenue has high aesthetic significance as a terrace group of building built in 1910 transitional from the Victorian Italianate architecture to the front façade to the Art Nouveau Interiors.

The 1938 building has medium significance for its inter-war architecture which references the Gothic Revival style of the 1886 school building and interpreted this style through modernist architectural influences.

St Vincent's College has strong associations with students and their families, staff, and the Sisters of Charity and with numerous significant events over the years in its operation as a school. St Vincent's School has strong association with the Sisters of Charity and with educational philosophy associated with the order which contributes to the contemporary esteem held by the college.

St Vincent's College, its site and fabric as an institution is important in demonstrating the development of the school founded by the Sisters of Charity that had its origins in 1853 and that has been operating as St Vincent's College since 1882.²

The following statement of significance is taken from the State Heritage Inventory listing sheet for the Potts Point Heritage Conservation Area:

The Potts Point Conservation Area provides evidence of the subdivision of the early land grants and the consolidation of development in Potts Point during the nineteenth and twentieth centuries, reflecting the evolution of the locality from a district of substantial nineteenth century villas, to one characterised by terraces of late nineteenth and early twentieth century interspersed with early to mid-twentieth

² State Heritage Inventory
<https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2421381>

century apartment housing and several surviving grand houses. Together with adjoining Elizabeth Bay and Rushcutters Bay, nowhere else in Australia were apartments built to this height or level of density. This creates streetscapes of strong urban form and Victorian, Federation and Inter - war character.

The area provides building types which represents the last 150 years of development and coexist in a harmonious way. Despite the intrusive nature of later high rise towers, whose impact is disproportionate to their proportion of built area, the area provides a highly cohesive character although the towers visually dominate the background of low scale streetscapes.

The commercial strip along Darlinghurst Road, together with Fitzroy Gardens and the El Alamein Fountain, provide a continuing civic and visual focus for the area.³

4.5 Statement of Significance for the Garcia Building from the 1997 CMP

Garcia is a well-preserved Federation era building constructed as a school of music and long associated with St Vincent's College, one of the oldest educational institutions surviving in the Potts Point area. Its exterior and principal interiors are of high quality of design and finish and survive largely intact. The building retains its association with the St Vincent's community.

The southern wings of the building, demolished in the 1990s, were less significant than the main building.⁴

³ State Heritage Inventory
<https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2435711>

⁴ Orwell and Peter Phillips, Bethania Potts Point CMP page 43



Figure 14: Front main elevation of Garcia on Challis Avenue



Figure: 15: South (rear) elevation of Garcia viewed from the rear of 2 Rockwall Crescent



Figure 16: West (side) elevation of Garcia viewed from basketball courts

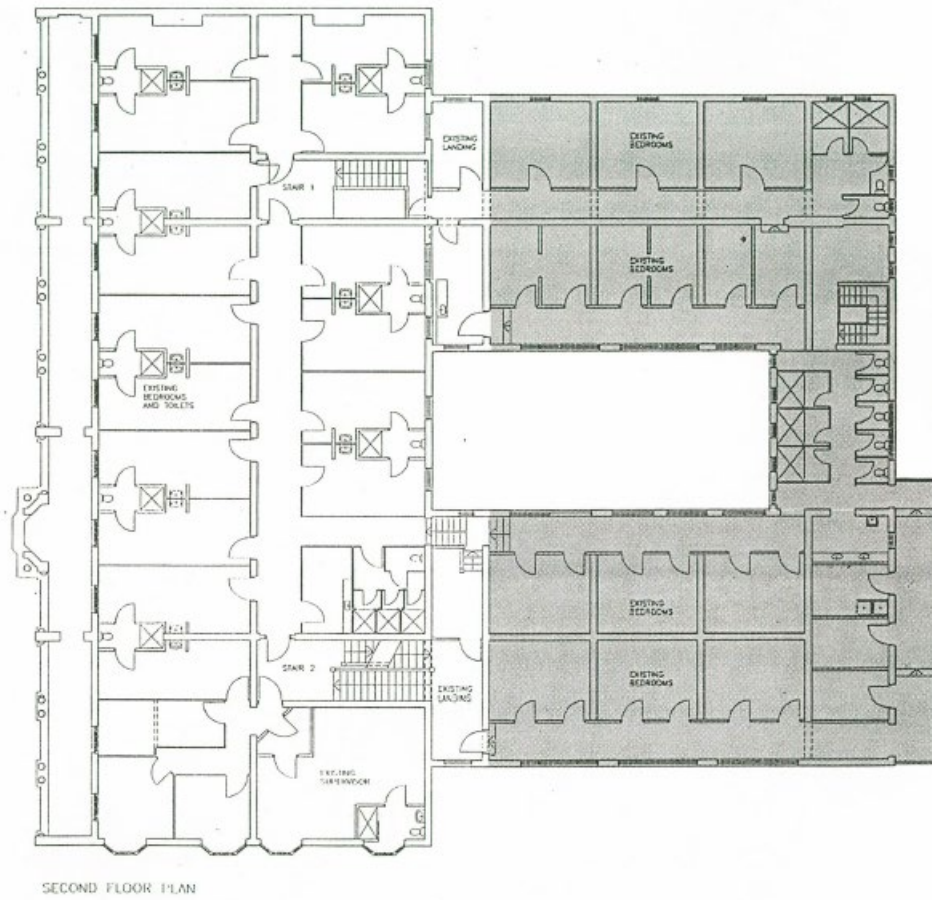


Figure 17: 1996 floor plan of the upper level of Garcia (Level 5 on Leaf Architects documentation) showing the layout of the rooms with ensuites.



Figure 18: Wall on Level 3 Garcia to be removed. The original drawings show this wall has been previously altered. Refer to Figure 9 above.



Figure 19: Other side of the wall being removed on Level 3 Garcia which is a later altered element.



Figure 20: Later internal wall on Level 5 Garcia proposed for removal. Refer to Figures 10 and 16 above for previous Level 5 room arrangements.

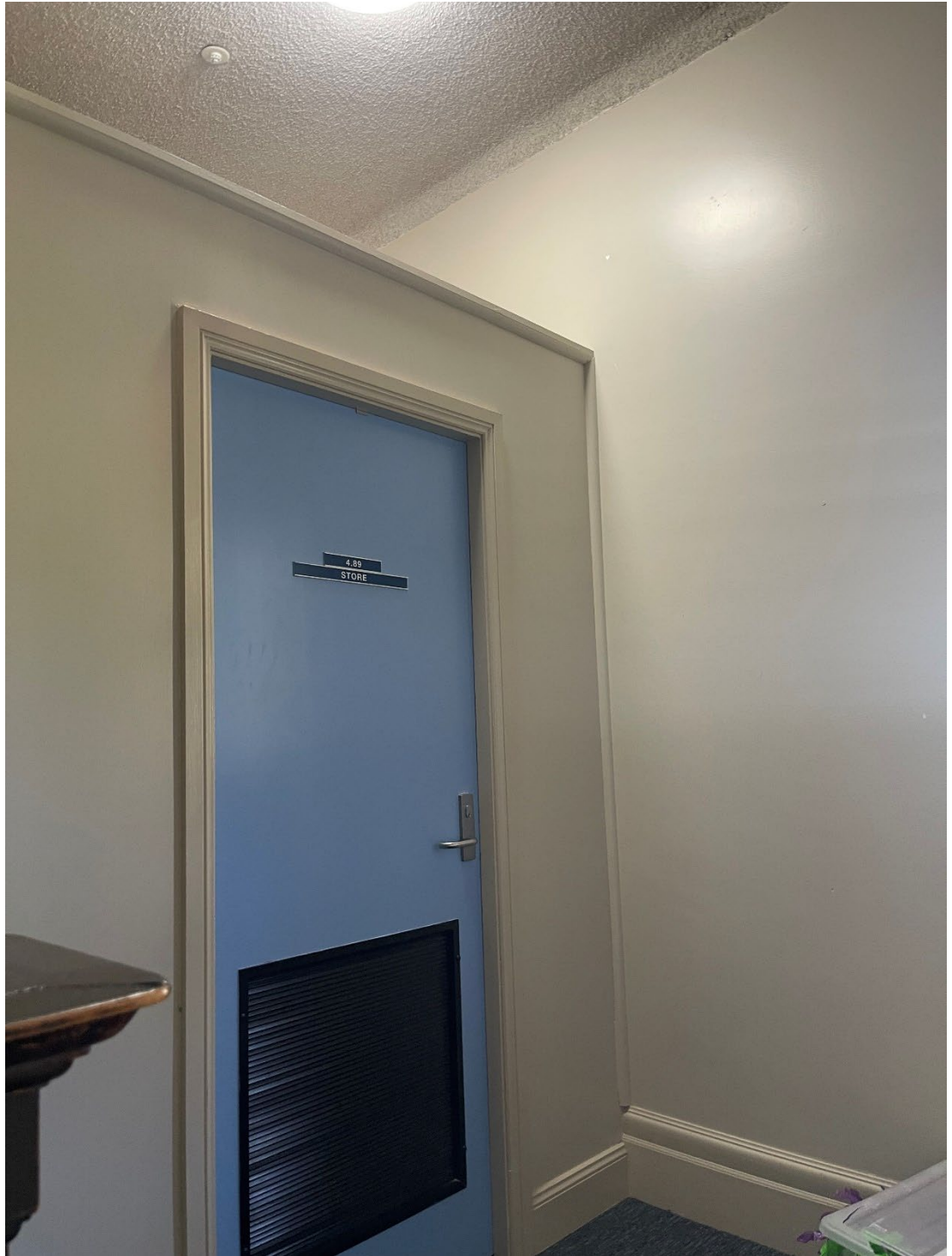


Figure 21: Partition wall, later door and spray ceiling finish on Level 5 are not significant. The partition wall is to be removed.



Figure 22: Partition wall and door proposed for removal to reinstate original opening.



Figure 23: Rear stairs to be demolished to ensure new rear addition has level access to the Garcia building. Stairs have been altered with spray cement ceilings

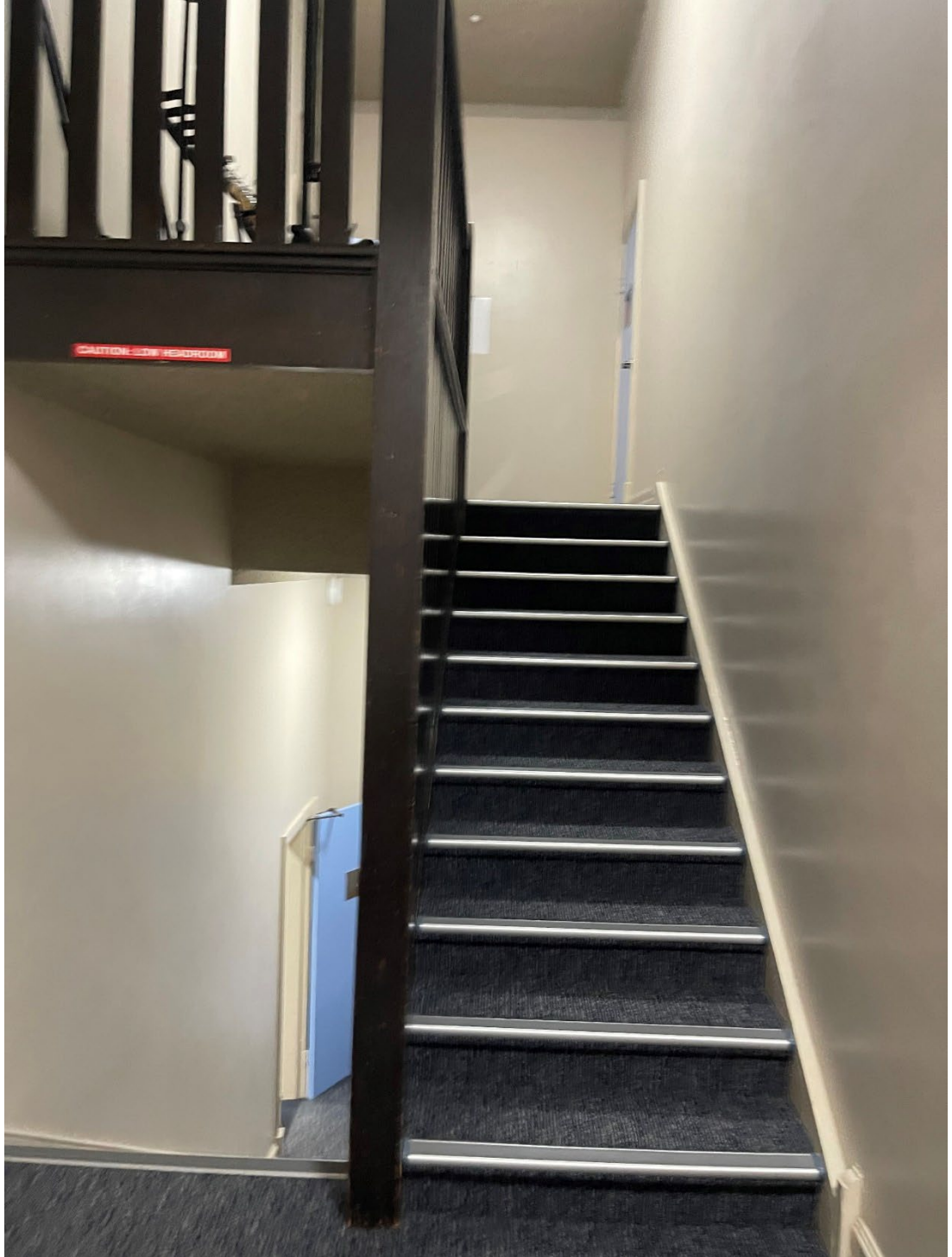


Figure 24: Rear stairs to be demolished



Figure 25: The rear stair balustrade does not display quality of craftsmanship shown in the front main building. This stair is proposed for demolition.



Figure 26: Superior quality joinery, the main entry stairs in Garcia to be retained.



Figure 27: Garcia fireplace mantel to be retained



Figure 28: original joinery in Garcia to be retained.



Figure 29: Two later (not significant) concertina walls to be removed from Mary Aikenhead Building B/C



Figure 30: Concertina wall to be removed in Mary Aikenhead Building D



Figure 31: Later Gyprock wall to be removed in St Dominic's (Building A)



Figure 32: Second later gyprock wall to be removed in St Dominic's (Building A)



Figure 33: Later addition adjoining the south elevation of the chapel. Internal changes/demolition to this addition are proposed.



Figure 34: Internal view of chapel rear addition shown in Figure 32 above. These non-significant walls to be demolished.



Figure 35: 1992 stair well walls to be demolished to improve connection of green spaces within the site

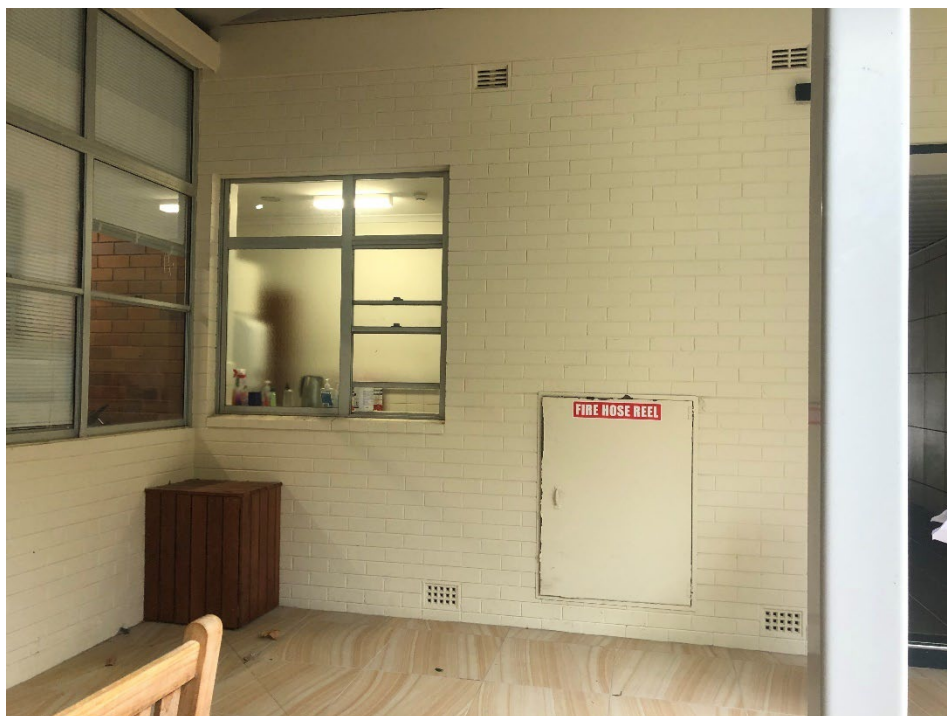


Figure 36: Section of Aikenhead House (constructed 1992) to be demolished to improve connectivity of external green spaces



Figure 37: Section of Aikenhead House (constructed 1992) to be demolished to improve external spaces.



Figure 38: North elevation Vincentia (Low significance). Proposed alterations internally and externally to connect proposed building.



Figure 39: Detail of sandstone wall along Challis Avenue showing damaged caused by inappropriate pointing mortar.



Figure 40: Another area where inappropriate pointing is affecting the condition of the sandstone wall along Challis Avenue

5 Condition and Integrity

5.1 Grading of Individual Components of building fabric

Excerpt from the 1997 CMP for the Garcia Building (formerly known as Bethania) by Orwell and Peter Phillips Architects

Highest Significance (Grade A)	Some Significance (Grade B)	Little Significance (Grade C)	Intrusive (Grade D)
External form, massing, scale and architectural character of the 4 terraces which comprise Garcia including major original components such as the colonnaded verandahs, decorative pediments and dentilled parapet along the skyline and the original and early masonry and stucco moulding including cross and circle on façade.	Moulded timber skirtings, picture rails, architraves and panelled doors	Bathroom adaptations to provide modern facilities	Security grilles on windows and doors and main entrance & modern door handle
External features including sandstone fences and walls, marble steps to all northern entrances and hexagonal tile details to entrance and ground floor verandahs	Teaching rooms to west of ground floor		Details of services which have been fitted such as fire control panel, electrical conduits, alarm lighting
Original and early timber joinery of windows and doors, bay windows on western elevation with masonry/timber corbels under, stained glass panels in front doors and windows and in south wall windows	Partitions and Features of Supervisor rooms to the east and west on the first floor		Additional doorbells on No.19 entry door and light globe over door
Old brass plate with Carmelita	Pressed metal ceiling of northern bedroom		Cyclone fence and gate to Challis Ave on west of building
Original cast iron wall vents			Extraneous external plumbing pipes on the surface of the south elevation
Clay pots on eastern chimney			Aluminium double hung window inserts to original bay windows in west wall.
Aspects and features of ground floor rooms including entry and reception area, ante room, common room, parlour of No.19 and two teaching rooms of No.19.			Alterations and additions to create fire-isolated stairs which have resulted in the loss of original openings and doors, the insertion of modern fire doors in steel frames, and the coating of ceilings with a sprayed material presumably as fire protection

Highest Significance (Grade A)	Some Significance (Grade B)	Little Significance (Grade C)	Intrusive (Grade D)
Detailed timber joinery including main entrance stair, stair posts and balustrading, fireplace surrounds in various rooms, timber panelling on walls of reception area.			
Plaster details including elaborate moulded plaster details, barrel vaulted ceilings of both halls, cornices and wall vents			
Timber parquet floors in reception and main hall and timber board floors elsewhere			
Tessellated tiling board and thresholds of ground floor of Carmelita			
Original hardware including door and window locks and furniture			

Management of components according to grading

Grade	Permissible actions for components and fabric of this grading
A	Should be preserved wherever possible with restoration and reconstruction work carried out where and as necessary to maintain the fabric and/or reveal obscured significance
B	Should also seek wherever possible to preserve significant original or early fabric with restoration or reconstruction carried out where possible to maintain and meaningfully reveal significance. In addition, works to areas and fabric in this category may include some adaption.
C	May be retained if useful or expedient but acceptable options also include adaptation or modification including removal in whole or in part with recording recommended prior to removal.
D	Generally recommended for removal – in whole or in part – or modified to reduce their adverse effect.

5.2 Current Condition of the Building

The building is in good condition with no outstanding maintenance issues.

6 Proposed Work

Proposed Works

The scope is as follows:

New development comprises:

- Construct a new Educational Facilities building on the corner of Victoria Street and Challis Avenue which will adjoin the west elevation of Garcia.
- Construct a rear (south) addition to the Garcia Building

Alterations to existing elements comprises:

Building	Work	Significance ⁵	Integrity/Significance of affected element
Pool and Basketball Courts	Complete Demolition	Low/No grading	Low/No Grading
Garcia	<ul style="list-style-type: none"> • Demolish remnant sections of Garcia rear wing • Demolish fire stairs • Remove later internal wall on Level 3 Garcia • Remove partitions on Level 5 (music practice rooms) 	High	<p>Medium The rear wings and fire stairs are altered elements which have lost their integrity.</p> <p>Low The partitions on Level 5 were constructed c1996 and are not significant.</p> <p>The internal wall on Level 3 is also not original fabric and is an altered element.</p>
Aikenhead House (Building L) <i>Constructed 1992</i>	<ul style="list-style-type: none"> • Internal alterations • Demolition of small wing • Demolition to increase size of entry way to carpark 	Low	Low

⁵ Refer to Figure 12 above for significance gradings of buildings.

7 Compliance with CMP Management Policies

7.1 GARCIA

General management policies -1997 CMP

1. Constraints arising from Statement of Significance

The proposed changes will retain the site name and original function and at the same time will limit the removal of significant early fabric.

Minimal change is proposed to fabric identified with high significance. Change to fabric of high significance is as follows:

- Removal of internal wall on Level 3 Garcia.
- Removal of later partitions level 5 Garcia.

The remnant rear wings are identified as intrusive due to the later unsympathetic changes that have adversely affected significant fabric.

2. Constraints and requirements arising from Physical Condition

The building is currently in good condition and is well maintained.

Garcia retains a high portion of original building fabric including decorative Art Nouveau architectural elements and detailing.

A heritage led approach to the proposed changes and additions to the building will ensure that significant fabric is retained and conserved. Changes to the building that led to the introduction of later, intrusive fabric were identified early in the design process; it is these areas where further change is now being proposed.

The main changes to the building fabric over time are listed below:

- Demolition of the rear wings in the 1990s
- Insertion of fire isolated stairs (1997) including changes to original doors and doorways, coating of ceilings, introduction of fire sprinklers and new stairs
- Changes to the original partitions on Floor 5
- Bathroom adaptations.

Remnants of the rear wings that remain do not have an individual component grading in the 1997 CMP. However, the CMP states that the southern wings of the building were less significant.⁶ Although some early building fabric remains, their significance is highly compromised by the following:

⁶ Orwell and Peter Phillips Architects, 1997, Bethania St Vincent's College Challis Avenue Potts Point CMP page 43.

- They are a partial element and were never intended to read in their current configuration
- Much, if not all, of the component they relate to has been demolished
- Rear wings were generally always a secondary element to the main building in Victoria and Federation architecture with less attention to architectural detail and finish.
- The rear wing remnants and rear stairs were subsequently altered by a fire upgrade which included fire isolation with modern fire doors in steel frames and sprayed coatings to the ceilings.
- It is likely the rear wing remnants were only retained to allow for the provision of a separate fire isolated exit from the building.

The conclusions and recommendations in the 1996 heritage impact assessment and archival recording of the rear wings prior to demolition make the following conclusions:

- the rear wings of Bethania ... have demonstrably less heritage significance and have little potential for reuse in their current configuration.⁷
- The proposed demolition will have little adverse effect upon the cultural significance of the building since those parts of the existing building which contribute most to its heritage value are to be retained and sympathetically refurbished.⁸

Minimising change to the original, significant fabric and spaces within Garcia was a key focus from outset of the current project, commencing with the concept design phase.

Locating improved stair and lift access in the proposed rear addition is a positive and deliberate design decision to embed the ongoing future use and functionality of the significant spaces while reducing change to the existing heritage item.

3. *Client Constraints and requirements*

When the 1997 CMP was written the Bethania/Garcia building was vacant due to some sections of the building being unsafe and dangerous. Most of the rear wing spaces were sub-standard in terms of teaching requirements. Demolition of the entire building was proposed at this time which did not proceed apart from the rear wings.

Today, the building is in use and in good condition. Its original use, as the St Vincent's College Music Department has also been reinstated. The purpose of the proposed changes to the building focus on:

- Improved and equitable access to the building
- Larger floor space to accommodate the growing music department
- Improved functionality of the private teaching spaces on Level 5
- Upgraded hospital, meeting and staff areas

⁷ Rod Howard Heritage Conservation Pty Ltd, 1996, Bethania Challis Avenue Potts Point Draft Heritage Assessment of Building and Statement of Heritage Impact Relating to Proposed works

⁸ *ibid*

Client requirements in the 2010 CMP

Efficient and clear access to inter-related buildings – rationalise and reconfigure to improve connection between levels and spaces.

The proposed rear and side addition to Garcia will improve connections across the site and improve equal access by introducing lift access to all levels of the heritage listed building.

An option to retain the remnant section of the Garcia rear wings was investigated; however, their intermediary floor levels were not able to be utilised to provide level access between the main building and new addition. Therefore, if retained, the partial rear wings would have resulted in non-compliant stair access only to the culturally significant Garcia building. The proposed rear addition provides an opportunity to provide compliant lift access to all levels of the heritage building with minimal impact. This access is key to embedding a future, core school use to ensure the preservation of Garcia for the next generation.

Maximising utilisation of all buildings is of paramount importance on such a constrained, inner city school site.

Statement of Conservation Policy

4. *The Statement of Cultural Significance - together with associated gradings of areas and the components of significance - set out in this document be used as the basis for future decision making about the development of the site.*

The proposed alterations and addition have carefully considered the gradings of areas and components of significance to inform the proposed development. No elements listed as the Highest Significance (Grade A) or Some Significance (Grade B) will be altered or affected by the proposed changes.

The bathroom partitions on the second floor (5th floor of Leaf Architects documentation) is listed as Little Significance (Grade D) and the fire stairs listed as Intrusive (Grade D) are the only elements that are proposed for change.

Original timber stair joinery associated with the rear fire stairs will be removed as part of the proposal. Refer to Figure 25 above. This joinery is of lesser quality and significance compared with the joinery in the main public areas of Garcia which will be retained and conserved. Refer to Figures 26, 27, and 28 above.

The wall proposed for demolition on Garcia Level 3 is also an altered element. Figure 9 above shows a wall in a similar location to be demolished in 1910. The existing wall has altered details such as cornice and picture rail. Refer to Figures 18 and 19 above.

5. *The future conservation and development of the place be carried out in accordance with the principles of the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter revised 1999).*

The proposed new building and rear addition have been designed with a heritage led approach that has guided the external form, scale and location of the new additions to minimise adverse visual impacts to the Potts Point Conservation area, Challis and Victoria Street streetscapes, heritage items in the vicinity and also those within the St Vincent's College site.

New work will also have a light touch when adjoining heritage fabric, lightweight linking elements which create visual separation and minimise physical impact have been incorporated into the design to ensure that the new additions minimise change, while retaining and respecting the cultural significance of Garcia.

Policy Implementation

6. *Maintenance and Essential Repairs*
Repairs and maintenance to Garcia have been significantly improved since the preparation of the 1997 CMP.

The building is in good condition with a preventative maintenance schedule in place to prolong the life of significant building fabric.

7. *Adaptation for Change of Use*
Modern methods of fire protection could be considered for installation if the impact to significant fabric can be minimised

Removal of intrusive finishes including the sprayed ceiling should also be considered.

The building will continue to be used as the St Vincent's College Music Department as well as offices and meeting rooms.

Conservation Policies from the 2010 CMP

8. *Fabric and Setting Guidelines – retain the landmark qualities and aesthetic significance of the 1938 and 1886 buildings along the Victoria Street frontage and Garcia on Challis Avenue*

The height of the proposed building on the northwest corner of the site is considerably lower than surrounding buildings and the permissible height in the Sydney LEP 2012.

The primary purpose of keeping the proposed building below RL 31.80 was to:

- Maintain views to and from the west elevation of Garcia
- Reduce the bulk to ensure significant heritage buildings along Victoria and Challis Street retain their landmark qualities
- Retain views from Challis Street heritage items to Woolloomooloo Bay
- Retain the existing streetscape characteristics within the Potts Point Heritage Conservation Area.

9. *Grounds and Gardens*

The new additions have been designed to retain and conserve the Grotto in its current location.

The sandstone retaining wall addressing Challis and Victoria Street on the northwest corner of the site is in poor condition. Consideration was given to retaining as much of the wall as possible; however the existing hard cement mortar combined with its condition have resulted in the need to completely replace the sandstone wall. It will be replaced to match the existing to preserve the existing street character. Refer to Figures 38, 39 and 40 above.

No significant, historic plantings or landscape will be affected by this proposal.

One mature tree, a *Liquidamber styraciflua* has been approved for removal.

10. *Constraints arising from significance – Bethania/Garcia*

No activity should occur on the site which would:

- *Remove or reduce evidence of the building's aesthetic significance and contribution to Challis Avenue streetscape*
- *Remove or reduce the aesthetic significance of the building's architectural elements and details*
- *Adversely affect the historic and social significance of the building arising from its use as teaching facilities and accommodation for St Vincent's College*

The proposed development will not alter the building's aesthetic significance or contribution to the Challis Avenue streetscape because no changes are proposed to the front or west elevation of Garcia. The proposed new addition on the northwest corner of the site will be a modern, recessive, and subservient element in the streetscape.

No changes are proposed to the architectural elements or details of Garcia that are graded highest (Grade A) or some (Grade B) significance. The aesthetic significance of the main, front and west elevation will not be impacted by the proposed work. The height of the new addition on the corner of Challis Avenue and Victoria Street will not inhibit views to or from the front or west elevation of Garcia.

The ability to view and appreciate Garcia from the public domain along Challis Avenue will be retained. The proposed addition to the west elevation will alter views to a blank section of rendered wall, below the existing bay windows, only.

The proposed addition to the rear of Garcia will embed the ongoing, future use of the building by providing modern amenities and equal access to all levels of the heritage item with minimal change to significant building fabric. They replace a former building (the original rear wings) in this location. The proposed rear addition to Garcia is similar in bulk and scale to the demolished rear wing. This proposed addition will sit below the gutter line of the main Garcia Building and will not be visible from Challis Avenue.

The continued use of the building as the St Vincent's College music department contributes to its historic and social significance.

7.2 Vincentia

Vincentia was constructed in 1972 and is of low heritage significance. The 2010 CMP states that it detracts from the original buildings in the College grounds by enclosing the later 1938 college building.⁹

The 2010 CMP defines elements of low significance as being of marginal importance, they may contribute little to the significance of the place not to the overall character¹⁰.

The CMP states elements assessed as low significance can be adapted and/or removed. The adaption and/or removal should ensure that the significance of original or early fabric/spaces of the building are enhanced or revealed.¹¹

Compliance with CMP policies

The proposed major internal reconfiguration of Vincentia complies with the CMP policies for buildings of low heritage significance. The building fabric affected by the change is not significant.

The internal changes will not be visible from the exterior of the building and will not affect heritage buildings on the site.

⁹ Daniels R, 2010 St Vincent's College Potts Point CMP page 79

¹⁰ Ibid page 92

¹¹ Ibid page 104

A section of wall on the north elevation of Vincentia will be demolished to connect with the proposed new building on the corner of Challis Avenue and Victoria Street. The removal of this low significant fabric will have no adverse heritage impact.

The work will improve connectivity between the proposed and existing buildings on the site. Refer to Figure 38 above.

7.3 Aikenhead House

Aikenhead House was constructed in 1992 and is of low heritage significance.

The 2010 CMP defines elements of low significance as being of marginal importance, they may contribute little to the significance of the place not to the overall character¹².

The CMP states elements assessed as low significance can be adapted and/or removed. The adaption and/or removal should ensure that the significance of original or early fabric/spaces of the building are enhanced or revealed.¹³

Compliance with CMP policies

The proposed major internal reconfiguration of Aikenhead House complies with the CMP policies for buildings of low heritage significance. The building fabric affected by the change is not significant. The work will not be visible from the exterior and so will have no effect on heritage buildings in its vicinity.

The demolition of external elements will also not result in any adverse heritage impacts and in fact will have a positive heritage outcome as the works will improve views to the east elevation of the original Tarmons building..

8 Other options Considered

8.1 Retention of remnant rear wings in the proposal

An option to retain the remnant rear wings was investigated. The existing stair landings within the rear wings are on an intermediary level to the main floors of Garcia, retaining the rear wings and stairs would have resulted in mis-matched floor levels between the main floor area of Garcia and the proposed addition.

This was not considered satisfactory for the following reasons:

- Inability to provide compliant access throughout the whole building
- Compromised future use of the historic and most significant section of the building being accessible by stair only.
- Proceeding with differing floor levels between old and new sections of the building and providing lift access within the main and most significant section of Garcia. This would invariably result in the loss of

¹² Ibid page 92

¹³ Ibid page 104

significant building fabric and would have an unacceptable heritage impact that would be difficult to mitigate.

A proposal to demolish Garcia in the 1990s was a result of sub-standard facilities in terms of teaching requirements. At this, the building was unused with some sections of the building unsafe and dangerous. Embedding an ongoing and viable future use is key to securing the long-term conservation of significant buildings.

There is a considerable additional construction costs associated with achieving matching floor levels between the proposed addition and existing Garcia building. However, the integration of the significant building into the new work was key to secure its ongoing use and conservation. It will also result in the retention of the most significant and intact sections of Garcia with minimal change.

8.2 Removal of sandstone retaining wall along Challis Avenue and Victoria Street

An option to remove the sandstone retaining wall along the property boundary was considered but discounted early in the concept design phase due to the contribution the wall makes to the character of the streetscape and public domain more generally.

The majority of the sandstone wall is in poor condition due to incompatible hard cement pointing mortar as well as salt affected. It is proposed to replace the sandstone wall to match existing.

8.3 Heritage Constraints

The following heritage constraints were identified prior to the commencement of the initial design phase. These constraints were based on comments and concerns of a previous design prepared in 2014 by Thomson Adsett Architects and additional heritage advice from Vivian Sioutas Architecture Pty Ltd.

- Retain and conserve the significant Grotto in-situ without change.
- Preserve The Grotto's current setting.
- Maintain views to and from the bay windows on the west elevation of Garcia
- Carefully design the proposed building on the corner of Challis Avenue and Victoria Street to be visually recessive by incorporating the following:
 - Modulated front elevation to reduce expansiveness
 - Uncomplicated form
 - Low-key roofline
 - Glazed linking element to Garcia for visual separation and transition
 - Setback to match or behind front building line of Garcia
- Replace sandstone retaining wall like for like on property boundary
- Rear addition to Garcia to sit below the eave line of existing building to retain visual prominence of the significant building and ensure the addition is not in the viewshed of the front main elevation when viewed from Challis Avenue.

9 Heritage Impact Assessment

9.1 HERITAGE IMPACT STATEMENT

The heritage advice provided throughout the design process were based on the principles of the Australia ICOMOS Burra Charter, the nationally accepted and adopted standard for heritage conservation practice.

The following table is based on the questions posed for minor partial demolition, major additions, and new development adjacent to a heritage item outlined in the Heritage NSW document 'Statements of Heritage Impact' dated 2009.

Definition of heritage impacts

The following heritage impact assessment considers indirect and direct impacts resulting from the proposal. Direct impacts are physical alterations or changes to significant building from the proposed work. Indirect or visual impacts are changes to views, vistas or setting of a heritage place from the proposed work.

Impact	Definition
Major	Actions that would have a long-term and substantial impact on the significance of a heritage item. Actions that would remove key historic building elements, key historic landscape features, or significant archaeological materials, thereby resulting in a change of historic character, or altering of a historical resource. These actions cannot be fully mitigated.
Moderate	This would include actions involving the modification of a heritage, including altering the setting of a heritage item or landscape, partially removing archaeological resources, or the alteration of significant elements of fabric from historic structures. The impacts arising from such actions may be able to be partially mitigated.
Minor	Actions that would results in the slight alteration of heritage buildings, archaeological resources, or the setting of an historical item. The impacts arising from such actions can usually be mitigated.
Negligible	Actions that would results in very minor changes to heritage items.
Neutral	Actions that would have no heritage impact.
Positive	Actions that would benefit the heritage item.

Proposed Change to Heritage item	Question posed	PURPOSE/METHODOLOGY	HERITAGE IMPACT
<p>Minor Partial Demolition (including internal elements)</p>	<p>Is the demolition essential for the heritage item to function</p>	<p><u>Garcia Building</u> Yes, demolishing the rear wing remnants will allow the floor level of the proposed addition to be the same as main Garcia building. If the rear wing remnants remain this will not be possible, and stairs will be required to access the main section of the heritage building. Locating modern services, including lift access, in the new addition will minimise change to significant heritage fabric which will have a positive heritage outcome.</p> <p>The existing stairs are not compliant and do not meet current standards.</p> <p><u>Aikenhead House Building L</u> Numerous internal and external changes are proposed to this recent, non significant building</p> <p>The purpose of this work is to improve the internal spaces of the boarding house to meet current needs and to improve connectivity of external spaces within the site.</p>	<p><u>Garcia Building</u> Minor The majority of the rear wings were demolished in the 1990s. The remaining sections have lost their original context, been altered during a fire upgrade and are considered secondary spaces to the intact, formal rooms in the main Garcia building.</p> <p>It is likely that these sections of the rear wings were retained to maintain the secondary fire stairs access rather than on heritage grounds</p> <p>Equal access into the significant, main Garcia building is essential for the ongoing viable use of the heritage item.</p> <p><u>Aikenhead House Building L</u> Neutral Aikenhead House was constructed in 1992 and is not significant.</p> <p>Internal changes will have no adverse heritage impact.</p> <p>Demolition of external elements will also not affect any significant heritage fabric. Demolition of sections of the building will improve views within the site particularly to the east elevation of the significant Tarmons building. This will have a positive heritage outcome.</p>

	<p>Are important features of the item affected by the demolition (eg fireplaces in the buildings?)</p>	<p>Some original fabric will be affected by the demolition of the remnant rear wings of Garcia.</p> <p>The demolition of the rear wings resulted in a loss of original context which has adversely affected the significance of the remaining sections.</p> <p>A late 20th century fire upgrade also resulted in irreversible change to this area of the building with the removal of original joinery and finishes.</p> <p>The original stair joinery is the only unaltered element that will be affected by the proposed demolition. This joinery is of lesser quality compared with that in the public facing areas of Garcia.</p>	<p>Minor</p> <p>For the reasons given this impact is considered minor.</p> <p>It is recommended that an archival recording is prepared prior to demolition and interpretation is incorporated within the transitional space between old and new – the former location of the rear wings.</p> <p>A heritage interpretation strategy has been prepared to ensure the history and earlier phases of Garcia are communicated with site users.</p>
	<p>Is the resolution to partially demolish sympathetic to the heritage significance of the item?</p>	<p>Yes, the sections of Garcia being demolished are secondary spaces considered to be of lesser significance¹⁴</p> <p>The areas being demolished are not visible from the front main elevation of the building and are devoid of architectural elements and detailing.</p> <p>They are themselves only partial elements not designed or intended to present in their current configuration.</p>	<p>Minor</p> <p>The demolition of the Garcia remnant rear wings will have a minor heritage impact due to their lesser significance, altered internal and external fabric and lack of original architectural detailing.</p>
	<p>If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?</p>	<p>No, the proposed demolition is not a direct result of the condition of the fabric.</p> <p>The condition and maintenance of the building is good.</p>	<p>N/A</p>

¹⁴ Orwell and Peter Phillips, 1997, Conservation Management Plan Bethania Potts Point page 43

<p>Major additions</p>	<p>How is the impact of the addition on the heritage significance of the item to be minimised?</p>	<p>The impact of the proposed additions has been minimised in a number of ways.</p> <ul style="list-style-type: none"> • Heritage advice was sought early and integrated into the concept design phase • Significant views to and from the building were also identified early in the design process. • Changes to significant fabric in the main Garcia building have been kept to a minimum • New services, including lift access, will be located in the new addition • The significant heritage buildings on the site will remain the dominant element and visual focus at the completion of the proposed work • The height of the proposed addition to the rear, south of Garcia will sit below the eave line of the significant building and will not be visible from its front, main elevation. • The floor height of the terrace on the corner of Challis Avenue and Victoria Street should be a maximum of RL 31.80 which will retain views to and from the bay windows on the west elevation of Garcia. • The rear and side additions to Garcia have a transparent connecting element to visually separate the heritage item from the new, adjoining structures. • The proposed additions will be modern recessive elements. The treatment of the external facades is uncomplicated with a modulated front elevation to reduce its perceived expansiveness. • The proposed additions have a modern, low key roof line to ensure the decorative parapet 	<p>Minor</p> <p>Leaf architects have incorporated early heritage advice into the proposed design to minimise the heritage impact of the proposal on Garcia, The Grotto, St Vincent’s College, Potts Point Heritage Conservation Area and heritage items in the vicinity.</p> <p>The form and scale of the proposed new buildings are suitable for their context and will not be dominant elements in the Potts Point Heritage Conservation Area.</p> <p>The proposed new buildings will not impact significant views to and from Garcia or affect harbour views from within St Vincent’s College, Challis Avenue or other significant buildings in the area.</p>
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		and chimneys on the Garcia building and heritage roof lines along Victoria Street continue to dominate the skyline.	
	Can the additional area be located within an existing structure? If not, why not?	No, the additional floor space required is too extensive to locate within the existing structure and would result in an unacceptable loss of significant building fabric.	N/A
	Will the additions tend to visually dominate the heritage item?	No, the form, height, design and location of the proposed additions were carefully considered to ensure that the new work does not visually dominate Garcia, other significant buildings within St Vincent's College, adjacent heritage items, Potts Point Heritage Conservation Area or adversely affect any significant views.	Minor The proposed additions will result in a minor visual change along the Victoria Street and Challis Avenue streetscapes. The proposed new buildings are an appropriate response to the context and in line with the form and scale of the surrounding environs.
	Are the additions sympathetic to the heritage item? In what way? (eg form, proportions, design)?	Yes, the additions are sympathetic to the heritage item for the following areas: <ul style="list-style-type: none"> • The proposed height of both additions was in direct response to the existing heritage buildings and streetscape. The proposed rear addition to Garcia sits below the eave line and proposed building on the corner of Challis Avenue and Victoria Street does not block views to and from the bay windows on the west elevation of Garcia or affect existing views of neighbouring heritage items. • The design of the external facades was carefully considered to retain the visual prominence of Garcia, to complement while being visually recessive in the streetscape. • The replacement of the sandstone retaining wall like for like aims to minimise change at ground level and retain the existing streetscape character. 	Negligible The rear south elevation of Garcia is a secondary façade which has been altered from original by the demolition of the rear wings. The proposed rear addition will have minimal physical impact on significant building fabric (the building site is currently grassed open space) and the visual impact is considered negligible as the original design intent had the rear wings in this location. A swimming pool and basketball courts are in the location of the proposed new building. The cyclone fencing and shade structures associated with this use are not sympathetic to the surrounds or streetscape. The façade treatment of the new building including green roof will have a minimal impact to the streetscape due to

			its considered architectural detailing and minimal height.
New development Adjacent to a heritage item	How is the impact of the new development on the heritage significance of the area to be minimised?	<p>The proposed development has been carefully considered to minimise visual impacts to heritage items in the vicinity and the Potts Point Heritage Conservation Area.</p> <p>The following elements have been considered and implemented to suit the site and surrounding context, including adjacent heritage items:</p> <ul style="list-style-type: none"> • Form • Scale • Siting • Character • Materials • Detailing 	<p>Negligible</p> <p>The techniques described above (form, height, location, and detailing), and early heritage advice have resulted in a sympathetic proposal that will have a negligible heritage impact on the surrounding area.</p> <p>No significant views will be affected by the new work.</p> <p>The scale and form of the new addition is commensurate with the surrounding area.</p>
	Why is the new development required to be adjacent to a heritage item?	<p>The cultural significance of the site and buildings is enhanced by its continued use by St Vincent's, firstly as a hospital then a school.</p> <p>The school's location in a densely populated, inner Sydney location has resulted in a highly constrained site with no opportunity to increase the campus size.</p> <p>Maximising the use of the current campus is of the utmost importance. The proposed building sites are among the last underutilised areas within the school campus.</p>	<p>Negligible</p> <p>The aim was to minimise the bulk, scale and heritage impact of the proposal while maximising the efficient use of the school site. The lower levels of both buildings will be below the current ground level to reduce the above ground bulk and visible structure.</p> <p>This substantially increases the construction cost of the proposal but considerably improves heritage outcomes.</p>
	How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?	The rear addition to the south of Garcia is in the location of the original rear wings. This is a site that was always intended to house a two-storey building. The proposed building envelope is similar to the form of the	<p>Negligible</p> <p>The proposed rear addition is similar in form and scale to the original, now demolished rear wings.</p>

		<p>demolished rear wings; however, a stepped back roof line has been incorporated to respect the neighbours on the southern side of Rockwall Lane.</p> <p>The proposed side addition could have the potential to affect the setting or curtilage of Garcia if the bulk and scale were not sympathetic to the heritage item. The current external form of the proposed building was informed by heritage item's architectural detail and retention of the existing views to and from the west elevation of Garcia.</p>	<p>Therefore, this work will not adversely affect the intended setting or curtilage of Garcia.</p> <p>A considered design approach to the form and scale of the new building to the west of Garcia which doesn't affect significant views ensures that the new addition does not adversely impact the setting and curtilage of the heritage item.</p>
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	<p>How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?</p>	<p>The new buildings will not affect existing views to and from the heritage item or heritage items in the vicinity.</p> <p>The location and height of the proposed additions were primarily influenced by early heritage advice. This heritage led design approach has resulted in a considerate proposal with minimal adverse heritage impacts.</p>	<p>Negligible</p> <p>No significant views to or from Garcia or heritage items in the vicinity will be affected by the proposed works.</p>
	<p>Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?</p>	<p>Please refer to the Historical Archaeological Assessment by Unearthed Archaeology and Heritage Dated June 2023</p>	<p>Negligible</p> <p>The historical archaeological report concludes that it is not expected that the study area has any potential to contain 'relics' as defined under the <i>NSW Heritage Act 1977</i>.</p>
	<p>Will the public, and users of the item, still be able to view and appreciate its significance?</p>	<p>The proposal will not affect views to the front elevation of Garcia from the public domain.</p> <p>There will be a minimal impact to the west elevation of the building; however, these views will only affect an area of wall that is devoid of architectural detail. The bay windows above will continue to be visible following completion of the proposed work.</p>	<p>Negligible</p> <p>There will be minimal change to the views of the building from the public domain.</p>

9.2 Heritage Considerations – Pre-DA Advice

Rear wings

The retention of the rear wing remnants in the 1990s was predominantly due to the recently upgraded fire stairs. The intermediary stair landings are located within the remnant rear wings. Their demolition would have also removed the ability to provide an alternate fire rated exit from the building.

The demolition of the rear wings has compromised the significance of the small, retained sections. The contribution these elements make to the cultural significance of Garcia is not comparable to the decorative masonry elements and architectural detailing on the front, main elevation of the building. They are an altered, partial element which no longer represents or provide any detailed understanding of the demolished rear wings. The 1997 CMP for Garcia states that the rear wings were of lesser significance¹⁵ than the main building.

Leaf architects explored an option to retain the remnant sections of the rear wings. However, due to their differing floor levels to the main building, their retention would not achieve a workable outcome. Their retention would result in stairs between the main building and remnant rear wings. Lift access would enable equal access to the new building but not the main Garcia heritage item.

Completing an addition and not improving accessibility to the heritage item is likely to result in a situation where the relevance and use of Garcia would diminish over time. The use of newer buildings, with equal access, would be favoured and Garcia may fall into disuse as previously occurred in the 1990s when it was slated for complete demolition.

The loss of original fabric posed by the remnant sections left of the rear wings is considered preferable to not achieving equal access to the highly significant main Garcia building.

Fire stairs

The 2010 CMP for St Vincent's College does not grade or consider components of building fabric in any detail. It is agreed and accepted that overall, Garcia is highly significant. The fire upgrade alterations have compromised the significance of fabric in these areas which includes the rear stairs that are proposed for demolition. Refer to Figures 23, 24 and 25 above.

Sandstone boundary wall

The existing sandstone boundary wall will be replaced like for like for the base of the new building. Sandstone will be sourced to match and will be sized, finished and fixed to match the existing wall.

Drawing DA530 provides a comparison between the existing and proposed stone wall along Challis Avenue.

Archaeological assessment

¹⁵ Orwell and Peter Phillips, 1997, Bethania St Vincent's College Challis Avenue Potts Point NSW 2011 page 43

The June 2023 Unearthed Archaeology and Heritage historical archaeological report concludes that it is not expected that the study area has any potential to contain 'relics' as defined under the *NSW Heritage Act 1977*.

9.3 Design changes following DA exhibition period

The following table

Issue	Action	Comment
Heritage Interpretation Strategy/Plan Garcia rear wings and rear wing stubs	A heritage interpretation strategy has been prepared.	<p>Please refer to heritage interpretation strategy included in this submission.</p> <p>The heritage interpretation strategy will ensure the previous form and uses of the Garcia building are recognised and understood by the school community.</p>
Stone Wall along Challis Avenue replacement	<p>Measured drawings and a photographic record have been prepared of the existing sandstone wall along Challis Avenue.</p> <p>The measured drawings of the existing sandstone wall have been overlaid onto drawing DA530 which provides a comparison between the existing and proposed stone wall.</p> <p>The proposed stone wall follows the existing arrangement and varied height of the existing wall, apart from where openings are required for the substation and building entrances. Openings in the new wall have been minimised as much as practicable.</p>	<p>The quality of the stone excavated from the site will be tested with a view to incorporating it into the new work.</p> <p>The height and coursing of the new wall will match the existing.</p> <p>The finish of the existing wall is varied, due to unsympathetic alterations over time. An appropriate stone finish will be selected and adopted. This will ensure the new wall finish will be matching and reinstate the original intended appearance.</p> <p>Please refer to drawings DA530 for visual comparison.</p>
Simplification of Foyer	<p>The linking element/foyer between Garcia and the new building has been redesigned as follows:</p> <ul style="list-style-type: none"> • Smaller in scale • Lower in height 	The simplified foyer will create a distinct visual and physical separation between the existing and proposed buildings.

	<ul style="list-style-type: none"> • Frameless glass has been incorporated. • Set back from the street frontage 	<p>The proposal has been recessed behind Garcias boundary wall and overall ceiling height dropped below Garcia.</p> <p>The frameless glass and reduced scale will ensure the element is visually recessive.</p>
Reduction of Glazing to Pool	<p>The proposed elevation to Challis Avenue has been redesigned as follows:</p> <ul style="list-style-type: none"> • Reduction in glazing and increase of solid material • Introduction of recessed windows to increase modulation in line with surrounding terrace housing • Vertical masonry elements to create visual separation between windows 	<p>The updated elevation to Challis Avenue has considerably altered the glazing to solid ratio.</p> <p>The vertical solid elements and modulation of the elevation provide a compatible infill building.</p>
Bulk of Rockwall Lane Roof form	<p>The form of the proposed rear addition has been redesigned as follows:</p> <ul style="list-style-type: none"> • Height has been reduced and stepped back from Rockwall Lane boundary • Brick base of the building has been broken into bays in response to the Garcia and adjacent terrace buildings. This interprets the historic subdivision pattern as requested by CoS. • Continuation of the boundary fence along the laneway to improve streetscape continuity along the laneway. • Lightweight timber, weatherboard cladding to upper levels • Window openings, size and configuration, respond to adjacent buildings. • 	<p>The changes incorporated into the design of the rear addition to Garcia will reduce the visual impact and bulk to Rockwall Lane.</p> <p>Design measures have also be introduced in response to surrounding terrace buildings and improve compatibility within the streetscape.</p>
Removal of AC units from roof	<p>The AC units have been distributed to be on top of garcias parapet rooftop and behind reduced enclosures on Bethania.</p>	<p>The AC units will not affect skyline views as they have been distributed on the rooftops and enclosed behind parapets and enclosures.</p>
Reflection of terraces on development	<p>The following design measures have been incorporated in response to this feedback:</p>	<p>The following design measures have been adopted to reflect surrounding terrace housing:</p> <ul style="list-style-type: none"> • Form

	<ul style="list-style-type: none"> • Modulation of the brick base of the south elevation to Rockwall Lane in response to the width of adjacent terrace housing and in recognition of historic subdivision pattern. • Stepped back upper level similar to rear terrace form. • Vertically orientated window openings • Regularity of smaller window openings • Roofline set behind building parapet. 	<ul style="list-style-type: none"> • Scale • Materials • Siting • Detailing • Colours <p>The proposed new buildings have considered and responded to their urban context and sensitively incorporated appropriate design responses to minimise visual impacts and enhanced heritage outcomes.</p>
Statement on height of sports netting	<p>The type of sports netting will be chosen to be visually recessive and not block views to and from significant buildings on the site.</p> <p>Sports netting is a requirement for the safety of the surrounding areas, to prevent injury and accidents to pedestrian and road users.</p>	<p>The height and type of sports netting has been reviewed to minimise its visual impact.</p> <p>Sports netting is predominantly transparent.</p> <p>Dark sports netting will be visually recessive against the highly built-up urban surround. The largest gauge netting possible will be selected to maximise transparency.</p> <p>The required height has been reviewed and lowered as much as practicable.</p>
Grotto excavation info	<p>Shreeji Consultant has prepared dismantling and reconstruction methodologies for the Grotto.</p> <p>Umbaco Landscape Architects has prepared a landscape plan for the Grotto based on physical and documentary evidence.</p>	<p>The dismantling and reconstruction methodologies have been prepared by a highly experienced heritage engineer. The Grotto is highly significant to the school community and is an integral part of the site's history. The school community is invested and supports the retention and conservation of the Grotto.</p>

		<p>The implementation of the heritage inspired landscape design will ensure the context of the Grotto is maintained and enhanced in the proposed development.</p> <p>The current setting of the Grotto has deteriorated over time. This will be rectified as part of the proposed works. The reconstruction will ensure the long term structural integrity and conservation of the Grotto by ensuring it is rebuilt using current techniques.</p>
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9.4 Heritage Impact on the Potts Point Heritage Conservation Area and Heritage Items in the vicinity of the proposed work.

The proposed rear addition to Garcia will have negligible impact on the Potts Point Heritage Conservation area for the following reasons:

- It replaces the original rear wings with a new building of similar bulk, scale and form
- The roofline steps back from the rear lane to minimise overshadowing
- All buildings turn away from Rockwall Lane with its streetscape comprised of rear elevations and garages.
- The proposed bulk, scale and setback of the proposed addition fronting Rockwall Lane is commensurate with other structures fronting the laneway such as those at 21-23 Challis Avenue, 29 Challis Avenue, 22 Rockwall Crescent and 73 Macleay Street.

The proposed new building on the corner of Challis Avenue and Victoria Street will have minimal impact on the Potts Point Conservation area for the following reasons:

- The proposed building will not affect any significant views
- The sandstone retaining wall that defines the corner at street level and contributes to the character of the area will be replaced to match existing.
- The height of the new building will be lower than the three storey terraces opposite on Challis Avenue
- Existing views to Sydney Harbour and city skyline will not be affected
- The facades of the building have been designed to be modern and recessive.
- The facades have been modulated to reduce expansiveness in the streetscape.

Heritage Items in the Vicinity

Challis Avenue Heritage Items

The proposed new building located on the corner of Challis Avenue and Victoria Street will alter the existing streetscape. Preliminary heritage advice recommended that the external building envelope of this new structure should be carefully considered to minimise the bulk and scale of the building and to retain views to the west elevation of Garcia as well as maintaining the existing views to Woolloomooloo Bay from properties along Challis Avenue.

Leaf architects took on board this early heritage advice and incorporated a maximum of RL 31.80 for the roof terrace to minimise visual impacts of the building and maintain existing significant view lines to and from Garcia and the heritage items along Challis Avenue.

Rockwall Crescent Heritage Items

The proposed addition to the rear of Garcia is located directly to the north of the heritage listed terraces at 2-12 Rockwall Crescent. The rear of these terraces faces north to Rockwall Lane and the St Vincent's College site.

The terrace housing along the north side of Rockwall Crescent are 4 storeys with the basement partially below street level. The proposed addition to the rear of Garcia will not be visible from Rockwall Crescent and the front elevation of the

heritage items at 2-20 Rockwall Crescent; therefore, having no adverse visual impact on Rockwall Crescent.

The proposed new building fronting Rockwall Lane will be two storeys above ground level with a third, plant room level stepped back from the southern property boundary behind a continuation of the existing boundary fence and planting. All buildings along Rockwall Lane turn their back to the laneway with existing building heights ranging from 2 to 4 storeys. The proposed rear addition to Garcia has a similar bulk, scale and footprint to the demolished rear wing and is lower in height than the Rockwall Crescent terraces opposite, and adjacent rear wing associated with the building at 21-23 Challis Avenue.

10 Recommendations and Conclusions

The purpose of the proposal is to provide additional facilities for the staff and students at St Vincent's College.

The proposal was carefully designed with early heritage input to minimise adverse heritage impacts within the college, the Potts Point Heritage Conservation Area and heritage items in the vicinity.

This has resulted in a proposal that will have a minimal impact on the heritage significance of St Vincent's College and the Potts Point Heritage Conservation Area.

The following is recommended to ensure good heritage conservation practice:

- Protect significant adjoining fabric during construction works.
- Record progress of the work
- Archival record the remnant rear wings, internally and externally prior to demolition and photograph the west elevation prior to commencement of works.
- Prepare a dilapidation report of The Grotto and Garcia Building (internally and externally) prior to the commencement of onsite works
- Incorporate interpretation of the demolished rear wings into the new rear addition. A heritage interpretation strategy has been prepared to ensure the earlier forms of the Garcia building are communicated with all site users.

